



HILLINGDON
LONDON



North Planning Committee

Date: THURSDAY, 15
SEPTEMBER 2011

Time: 7.00 PM

Venue: COMMITTEE ROOM 5 -
CIVIC CENTRE, HIGH
STREET, UXBRIDGE UB8
1UW

**Meeting
Details:** Members of the Public and
Press are welcome to attend
this meeting

To Councillors on the Committee

Eddie Lavery (Chairman)

Alan Kauffman (Vice-Chairman)

David Allam

Jazz Dhillon

Michael Markham

Carol Melvin

David Payne

John Morgan

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<http://modgov.hillingdon.gov.uk/ieListMeetings.aspx?CId=116&Year=2011>

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Petitions and Councillors

Petitions - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

Ward Councillors - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

Committee Members - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meeting held on 4 August 2011
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

Reports - Part 1 - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. Reports are split into 'major' and 'minor' applications. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	South Ruislip Early Years Centre - Plot 2, Acol Crescent, Ruislip	South Ruislip	67607/APP/2011/1122 Erection of a part two, part three storey block comprising 7, one-bedroom and 5, two-bedroom flats, together with associated car parking and landscaping (involving demolition of existing buildings). Recommendation: Approval	15 - 48

Non Major Applications with a Petition

	Address	Ward	Description & Recommendation	Page
7	22 Pavilion Way, Ruislip	Cavendish	17423/APP/2011/57 Demolition of existing detached store to rear, erection of single storey side/rear extension and alteration to first floor side elevation Recommendation: Approval	49 - 58
8	Land R/O 17-21 The Close, Eastcote	Eastcote & East Ruislip	11448/APP/2011/238 Erection of a two storey detached building with additional level in roofspace for use as Class B1 Office. Recommendation: Refusal	59 - 70
9	Eastcote Lawn Tennis Club, Kaduna close, Eastcote	Eastcote & East Ruislip	52580/APP/2011/1462 Porch to front, installation of decking and fencing to side/front, installation of ramp to front and alterations to side of existing club house. Recommendation: Approval	71 - 80
10	41 Raisins Hill, Pinner	Northwood Hills	64909/APP/2011/1165 Part two storey, part single storey side/rear extension, single storey front extension and conversion of existing integral garage and store into habitable space involving the installation of 2 rear rooflight and 1 front rooflight. Recommendation: Approval	81 - 92

Non Major Applications without a Petition

	Address	Ward	Description & Recommendation	Page
11	Land at Crows Nest Farm, Breakspear Road South, Harefield	Harefield	1113/APP/2011/1020 Detached storage building to be used for the processing and storage of bio fuel and compost Recommendation: Refusal	93 - 104
12	47 Copse Wood Way, Northwood	Northwood	18371/APP/2011/1271 Erection of two storey, five-bedroom, detached dwelling with conversion of roof space to habitable use to include 2 rear dormers and 5 rooflights involving demolition of existing dwelling. Recommendation: Refusal	105 - 114
13	12 Kewferry Road, Northwood	Northwood	33988/APP/2011/684 Single storey front extension Recommendation: Refusal	115 - 120

Part 2 - Members Only

The reports listed below are not made public because they contain confidential or exempt information under paragraph 6 of Par 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended.

	Address	Ward	Description & Recommendation	Page
14	Enforcement Report			
15	Any Items Transferred from Part 1			

16	Any Other Business in Part 2
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Plans for North Planning Committee

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Agenda Item 3

Minutes

NORTH PLANNING COMMITTEE

4 August 2011

Meeting held at Committee Room 5 - Civic Centre,
High Street, Uxbridge UB8 1UW



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	<p>Committee Members Present: Councillors Eddie Lavery (Chairman) Alan Kauffman (Vice-Chairman) David Allam Jazz Dhillon Michael Markham Carol Melvin David Payne John Morgan</p> <p>LBH Officers Present: James Rodger, Meg Hirani, Syed Shah, Rory Stracy and Nav Johal</p>	
222.	<p>APOLOGIES FOR ABSENCE (<i>Agenda Item 1</i>)</p> <p>There were no apologies for absence.</p>	Action by
223.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING (<i>Agenda Item 2</i>)</p> <p>Councillor Edward Lavery declared a personal and prejudicial interest in relation to item 9, 534 Victoria Road, and left the room for the duration of this item. Councillor Allan Kauffman was Chairman for this item.</p>	Action by
224.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT (<i>Agenda Item 4</i>)</p> <p>None.</p>	Action by
225.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE (<i>Agenda Item 5</i>)</p> <p>Items marked part 1 were considered in public and items marked part 2 were considered in private. There were no part 2 items to consider.</p>	Action by
226.	<p>22 PAVILION WAY, RUISLIP - 17423/APP/2011/57 (<i>Agenda Item 6</i>)</p> <p>Demolition of existing detached store to rear, erection of single storey side/rear extension and alteration to first floor side elevation</p>	Action by

17423/APP/2011/57

The application site was located on the north side of Pavilion Way and comprised a two storey semi-detached property finished in red brick, with white render and white UPVC windows and a wooden door. The property had a detached garage to the rear which was used as a store, an area of hard standing to the front and had been extended to the rear with a single storey extension. A loft conversion involving the formation of a gable end and the construction of a rear dormer had recently been undertaken as Permitted Development.

The street scene was residential in character and appearance and the application site was within the developed area as identified in the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Planning permission was sought for the erection of a single storey side/rear extension with alterations to the first floor side elevation of the existing house and demolition of the existing detached store to the rear. The extension would replace the existing single storey rear extension. It would project 3.6 metres from the original rear wall of the property and have an overall width of 8.4 metres. It would be set back 5.4 metres from the front main wall of the property. It would be constructed with a flat roof to a height of 2.98 metres and be finished in materials to match the existing. The alterations to the first floor side elevation would comprise the installation of an additional toilet window.

Planning permission was refused on 1 November 2010 (17423/APP/2010/1662) for a two storey side and rear extension, conversion of roofspace to habitable use to include a rear dormer, 1 front rooflight and conversion of roof from hip to gable end, including demolition of single storey rear element.

7 neighbours and the Eastcote Residents Association were consulted. A petition signed by 21 persons had been received objecting to the proposal on the grounds that it was oversized and posed potential environmental issues.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Mr Hyde spoke on behalf of the petitioners; he stated that there had been significant changes to the original application that was submitted.
- Pictures/plans submitted by the lead petitioner showed the angle of the plot. Mr Hyde stated that the boundary of the fence sloped inwards and not at a right angle as was suggested in the plans submitted by the applicant.
- Photographs were shown to explain to members the extent of the inward slope on the neighbouring garden.
- Further photographs showed the boundary line was one that

had existed for many decades and that there was old vegetation.

- The depth of the building was discussed.
- Mr Hyde had met with the applicant and agent and said that they had stated whatever design was approved they would alter it with adjustments.
- The petitioners felt that the roof would be out of character with nearby property.
- Concerns were raised with storage of refuse.
- Petitioners stated that the existing garage would be demolished.

The agent was not present.

Councillor Michael White was present and spoke as a Ward Councillor:

- Councillor White thanked officers for a precise report which covered most of the points which were an issue.
- He stated that the original planning application was refused.
- Councillor White felt that the extensions to the building were bigger than what the house should have. As a result the property looked bulky.
- He stated that according to policy extensions should be kept to scale and form of the original architectural building.
- That the property could become an eyesore.
- It was very close to the boundary lines.
- The potential loss of sunlight on the neighbours was an issue for concern.

Members asked officers to clarify the boundary line measurements. Members did not feel comfortable deciding on an application where there was uncertainty about the plans presented. Officers explained that the applicants had shown a signed certificate to planning officers which showed the boundary line as presented. Members requested legal comment on the plans that were presented. They were advised that planning officers were to advise on whether they believed there were any inaccuracies in the plans submitted.

Members also commented on other issues for discussions which officers had not mentioned in the report which were brought up at the meeting, these could be options for refusal for the application.

Officers advised that they had the option to go back to the applicant and ask them to check the accuracy of the plans. Officers could also go out and check the precise measurement of the area.

Members asked that this item be deferred and that officers to accurately measure the area. Members also asked officers to consider the other reasons for refusal that were discussed by the Ward Councillor and petitioners.

The recommendation for a deferral pending the accuracy of plans to be checked and top get overshadowing assessment was moved, seconded and on being put to the vote was unanimously agreed.

	<p>Resolved –</p> <p>That the application be deferred to check accuracy of plans and get overshadowing assessment.</p>	
227.	<p>34 PARKFIELD ROAD, ICKENHAM - 59470/APP/2011/1203 (Agenda Item 7)</p> <p>Retention of existing side dormer facing No.32 and alteration to side dormer facing No.36.</p> <p>59470/APP/2011/1203</p> <p>The application site was located on the north east side of Parkfield Road and comprised of a detached bungalow. The application property was separated from the adjoining property, No.32 also a detached bungalow, by 2.5m. To the northwest was 36 Parkfield Road, also a detached bungalow.</p> <p>The area was characterised by a mix of bungalows and two storey houses and the application site lies within the developed area as identified in the adopted Unitary Development Plan Saved Policies 2007.</p> <p>The proposal was to retain the dormer window facing No.32 as constructed and to alter and retain the dormer facing No.36. The dormer facing No.32 would measures 4.25m wide, 3.4m deep and finished with a flat roof 2.3m high. It would retain gaps of 0.5m to the eaves and 0.2m to the roof ridge and would be set some 4.5m back from the front of the property. This dormer was as constructed and would retain the existing windows. The dormer facing No.36 would still measures 4.25m wide and 3.4m deep but would be finished with a flat roof 1.96m high. This would involve a reduction in its height by approximately 400mm. It would increase the gap between it and the eaves to 0.9m, but would still be 0.2m to the roof ridge and would be set some 4.5m back from the front of the property. It was also proposed to remove both the existing windows from the face of this dormer, leaving a blank facade facing No.36.</p> <p>The site had an extensive planning history relating to developments in the roof. However, the most relevant is the enforcement notice relating to the existing dormers, the subject of this application, which was served in July 2008 and was the subject of an appeal. The Council had already secured a prosecution through the courts which resulted in the courts instructing the owner to comply with the terms of the enforcement notice. This had not occurred and the matter would be referred back to the courts for further determination.</p> <p>Ickenham Residents Association were consulted, and two letters had been received objecting to the proposal. Two petitions, one with 21 signatures and one with 20 signatures had also been received. Both requesting that the application was refused and the enforcement notice</p>	Action by

complied with.

Officers had recommended this application be refused.

In accordance with the Council's constitution a representative of the petition received in objection to the proposal was invited to address the meeting.

Points raised by the petitioners:

- Mr Noad spoke to Committee on behalf of petitioners. He had lived in Parkfield Road for 50 years.
- He stated that the dormers at no.34 had been one of the most stressful applications in the area.
- The dormers should not have been built and there were many applications refused, hearing, enforcements, meetings, emails, etc which supported this.
- The proposal that was submitted by the applicant was in no way acceptable.
- That the reason for submitting the application was to delay the process of enforcement further.
- This was causing stress to residents and the system was being exploited.
- This was unauthorised development and Mr Noad requested that the application be refused and he made strong representation that the Council proceed with the enforcement process.
- Mrs Kirke spoke on behalf of the second petition that was submitted.
- She thanked the officers for the report and recommendation presented.
- Mrs Kirke encouraged the endorsement of further enforcement. That since 2004 planning applications had been on-going on this site.
- The proposal that was submitted to committee was less acceptable than that was submitted at a previous appeal.
- The application did not comply with LB Hillingdon planning policies.
- That the application did not meet the requirements for light.
- It was having a dramatic adverse effect on neighbouring properties and she had spoken about this in previous meetings.
- The applicant was continuing to delay the enforcement process and Mrs Kirke said that compliance was needed to be taken asap.

The agent spoke on behalf of the application submitted:

- He felt that Committee had heard some very prejudicial comments and that he wished for some perspective on this application.
- The agent felt that the application did not cause 'distress' and that there were many larger dormers in the area. That the comments were exaggerated.
- He had reduced the size of the application in order to reduce the complaints.

	<ul style="list-style-type: none"> • The agent asked that Committee look at the application in its true light. • He felt that neighbours had ganged up; that some signed the petition had no relevance and lived streets away. • The dormers were modest in size and the removal would cause hardship. • There were many similar dormers throughout the Borough. • The agent asked that if Members could not approve the application that they deferred the decision to carry out a site visit. <p>Members stated that they would not get carried away by petitioner's comments and their decision would be based on planning.</p> <p>Members felt that this application showed blatant disregard for the Council's planning requirements and the dormers were completely inappropriate for the area.</p> <p>Members felt that they had no hesitation in accepting the officer's recommendation.</p> <p>It was noted that officers were pursuing Enforcement issues regarding this site.</p> <p>Officers explained to Members that in the last few days the Mayor of London had issued a new London Plan, therefore policies needed to be updated.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <p>That the application be refused as per the agenda and delegated authority be given to the Head of Planning, Environment, Education & Community Services to update the policies.</p>	
228.	<p>12 EASTBURY ROAD, NORTHWOOD - 1901/APP/2011/174 (Agenda Item 8)</p> <p>Erection of part first floor rear/side extension, alterations to rear elevation to include removal of single storey rear roof, installation of ramps to West elevation and East elevation and external staircase to side.</p> <p>1901/APP/2011/174</p> <p>This application was deferred from the committee of the 14th July for a site visit. Planning permission was sought for the erection of a part two storey part first floor side extension, ground floor rear infill extension and provision of external first escape staircase.</p> <p>The application property was an attractive 'Arts & Crafts' style building which formed a group with 10, 14 and 16 Eastbury</p>	Action by

	<p>Road, which were on the local list. The proposed part first floor side/rear extension was not considered to harmonise with the character, proportions and appearance of the main building and would be detrimental to the appearance of the surrounding area and the character and appearance of the Northwood/Frithwood Conservation Area. The proposal would not harm the residential amenities of the occupiers of nearby properties.</p> <p>Officers had recommended this application be refused.</p> <p>Officers had met with neighbours the day before to discuss issues and Members commented that the site visit was very helpful.</p> <p>Members felt that the proposed extension was very large and the visual amenities needed to be considered. Light in the proposed bedroom could be an issue. Members also discussed any possible vegetation that could be destroyed.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <p>That the application be refused as per the agenda with an additional reason relating to the visual impact on the adjoining occupier to be agreed with the Chairman and Labour lead.</p>	
229.	<p>534 VICTORIA ROAD, RUISLIP - 3677/APP/2011/851 (<i>Agenda Item 9</i>)</p> <p>Councillor Lavery declared a personal and prejudicial interest for this item and left for the room. Cllr Kaufmann was Chairman for this item.</p> <p>Change of use from Class A1 (Retail) to Class A2 (Financial and Professional Services) for use as an estate agent.</p> <p>3677/APP/2011/851</p> <p>The site was within the core area of the South Ruislip Local Centre and comprises a ground floor commercial unit. Policy S9 states that in Local Centres the Local Planning Authority would only grant planning permission to change the use from Class A1 shops outside the core areas. Local Centres were generally much smaller than Town Centres and in order that these centres retain a strong retail core, with more than just the bare minimum of shops, the Local Planning Authority would not grant planning permission to change the use from Class A1.</p> <p>The application sought the change of use of an existing A1 (retail) use to a A2 (Financial and Professional Services) use and therefore would be contrary to adopted policy. Therefore the application was recommended for Refusal.</p> <p>The petitioners were not present at the meeting and therefore did not</p>	Action by

address committee.

The agent was present and raised the following points on behalf of the application:

- The agent employed 7 full time and 1 part time staff at his letting agents. He ran a family business.
- He had agreed to invest in the property without realising there were any issues regarding change of use of the property.
- The agent understood why the officer's recommendation was for refusal but he felt he had a strong retail case.
- There were 24 units in the area and 1 was an estate agents. 4 were food outlets and 2 newsagents.
- Historically the property was a very successful estate agents for around 30 years, it was a very good site.
- The agent was surprised at the petition generated; this was done by another estate agent who did not want any competition.
- This existing estate agent was the only one in South Ruislip. The agent felt that monopoly was not positive or a healthy way forward.
- If the application was refused by Committee than the unit would be left empty.
- It was historically a busy parade and the proposed estate agent would improve the parade and business.

Members discussed the current policy and commented that it was not fit for purpose in the current economic climate. Members discussed the possibility of another business failing and it was suggested that the officer's recommendation be overturned.

Members also commented that where possible they should maintain A1 usage, that the shop was current occupied as A1 usage. Members considered the option of trying to maintain this property as an A1 usage and seeing if it could be occupied in this way. That other occupiers needed to be considered.

Members discussed the change in the retail market, that there was not as much demand for such shopping parades. Members could assume that the current owner had looked at other opportunities and some felt that it was not down to the Committee to dictate to the owner what he could and could not do.

Members further commented that this was a refreshing application. Members noted that changing the use did not mean the business would be kept afloat. They again, considered the option of giving another A1 business a chance before agreeing to a change of use.

The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority of 7:1.

Resolved –

That the application be approved and the officers recommendation as per the agenda be overturned. Details of

	conditions to be agree with the Chairman and Labour lead.	
230.	<p>21 FRITHWOOD AVENUE, NORTHWOOD - 42456/APP/2011/653 (Agenda Item 10)</p> <p>Part single storey, party two storey side / rear extension involving alterations to side elevation.</p> <p>42456/APP/2011/653</p> <p>This application related to an existing residential care home situated within a residential area. The application sought permission for a part 2 storey, part single storey side extension, to provide 5 additional rooms.</p> <p>It was considered that the design of the proposal was acceptable and that any loss of residential amenity had been satisfactorily addressed and would not be materially different from the existing site circumstances to warrant the refusal of planning permission on these grounds alone. As such the proposal was considered to comply with all relevant policies contained in the Hillingdon Unitary Development Plan Saved Policies (September 2007) and therefore the proposal was recommended for approval.</p> <p>Some Committee Members had visited the site previously. Members asked for clarification on the frontage and trees. Officers replied that no trees would have been affected, that some shrubs would have had to be removed. Officers further commented that conditions were in place which safeguarded the trees and vegetation in the area.</p> <p>Members felt that it was a sympathetic design and that it ticked all the boxes. Officers had produced a good report and included good conditions. Members agreed that the proposed application was in-keep with the existing building, and that the neighbouring property was at a higher level so the impact would be minimised.</p> <p>The recommendation for approved was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <p>That the application be approved as per the agenda.</p>	Action by
231.	<p>30A NORTHOLT AVENUE, RUISLIP - 16490/APP/2011/1037 (Agenda Item 11)</p> <p>Retention of two storey, three-bedroom, end terrace dwelling with integral garage and associated amenity space and parking</p> <p>16490/APP/2011/1037</p> <p>The proposal was for retrospective planning permission for an end terrace property, that had not been built in accordance with the approved plans, which were for the erection of a row of four 2-storey</p>	Action by

2-bedroom terraced houses, two with integral garages, together with frontage parking and vehicular crossovers (16490/APP/2006/1061).

This particular property was constructed with 3-bedrooms and the position of the integral garage had been re-sited and was now situated against the shared party wall. However, the proposed dwelling was still considered to provide adequate amenities for future occupiers and the bulk and design was not considered materially different to that approved by the earlier grant of planning consent and as such, it was considered the design of the dwelling had been established by that permission as acceptable.

With regard to the revised layout, the dwelling still provides 2 off-street parking spaces, together with an area of soft landscaping to the front and therefore, the design of the dwelling is considered to adequately integrate within the street scene without causing material harm to the residential amenities of the neighbouring properties.

The application was recommended for approval subject to appropriate safeguarding conditions.

The four applications for 30A-D Northolt Avenue were discussed by Members. Members requested that officers investigated whether there were any highways enforcement issues that needed to be considered with regard to driving over kerbs to get cars into driveways; and whether the properties should have dropped kerbs was discussed.

Members discussed in detail the parking management scheme in the surrounding area. Officers advised that the new occupants would have no new restrictions imposed on them. Members commented that parking would be further congested due to the additional number of bedrooms in the applications.

Members were unhappy at getting to this stage with the applications and in the future commented that this situation should be avoided. It was noted that although the situation was not ideal it was an improvement on the previous applications.

The size of the garages was discussed. These were the same as per original applications.

The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority. Councillor Payne abstained from voting.

Resolved –

That the application be approved as per the agenda and the changes set out in the addendum, and delegated authority be given to the Head of Planning, Environment, Education & Community Services to update the policies.

232.	<p>30B NORTHOLT AVENUE, RUISLIP - 16490/APP/2011/245 (<i>Agenda Item 12</i>)</p> <p>Retention of two storey, with rooms in roofspace, four-bedroom terraced dwelling with 2 rooflights to front and 2 rooflights to rear.</p> <p>16490/APP/2011/245</p> <p>The proposal was for retrospective planning permission for a mid-terrace property, that had not been built in accordance with the approved plans, which were for the erection of a row of four 2-storey 2-bedroom terraced houses, two with integral garages, together with frontage parking and vehicular crossovers (16490/APP/2006/1061).</p> <p>This particular property was constructed with 4-bedrooms, one of which was in the roof space and due to the amended frontage layout, now only allows for one off-street parking space. However, the proposed dwelling was still considered to provide adequate amenities for future occupiers and the bulk and design was not considered materially different to that approved by the earlier grant of planning consent and as such, it was considered that the design of the dwelling had been established by that permission as acceptable.</p> <p>With regard to the revised frontage layout, whilst the dwelling now resulted in a parking shortfall, due to the parking management scheme that was in place in the street, it was not considered demonstrable harm by this deficiency results and furthermore, this revised layout was considered to result in a visual improvement to the frontage as there is now adequate space to allow for areas of soft landscaping to be provided.</p> <p>Approval was therefore recommended.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority. Councillor Payne abstained from voting.</p> <p>Resolved –</p> <p>That the application be approved as per the agenda and the changes set out in the addendum, and delegated authority be given to the Head of Planning, Environment, Education & Community Services to update the policies.</p>	Action by
233.	<p>30C NORTHOLT AVENUE, RUISLIP - 16490/APP/2011/1039 (<i>Agenda Item 13</i>)</p> <p>Retention of two storey, with rooms in roofspace, four-bedroom terraced Dwelling.</p> <p>16490/APP/2011/1039</p>	Action by

	<p>The proposal was for retrospective planning permission for a mid-terrace property, that had not been built in accordance with the approved plans, which were for the erection of a row of four 2-storey 2-bedroom terraced houses, two with integral garages, together with frontage parking and vehicular crossovers (16490/APP/2006/1061).</p> <p>This particular property was constructed with 4-bedrooms, one of which was in the roof space, together with a revised front layout. Whilst it is considered that the proposed dwelling provides adequate amenities for future occupiers and the bulk and design was not considered materially different to that approved by the earlier grant of planning consent, the amended frontage layout, which allows for one off-street parking space for this residential unit results in the need to remove an existing highway tree (Cherry tree, ref. 00894 on the street tree register). It had been recommended that this tree was removed and replaced in a more suitable position.</p> <p>In addition to this requirement, as the property would result in a net gain of 7 habitable rooms, the director of education had stated an education contribution of £13,572 for nursery, primary, secondary, and post 16 education would be required in the South Ruislip Ward. Confirmation had been sought from the applicant regarding a request that both of these matters were dealt with via the completion of a Section 106 agreement and no response had been received. Without this agreement in place, the proposal was considered to result in a total lack of off-street parking provision for this particular unit together with an increased shortfall of education provision in the surrounding area.</p> <p>As such, the application is considered to fail to comply with policies BE38, AM14 and R17 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and was recommended for refusal.</p> <p>Refusal of this application would result in prosecution proceedings recommencing.</p> <p>Members discussed this application and were advised that officer's had asked the agent for changes and a legal agreement which had no been provided.</p> <p>The recommendation for refusal was moved, seconded and on being put to the vote was agreed by a majority. Councillor Payne abstained from voting.</p> <p>Resolved –</p> <p>That the application be refused as per the agenda.</p>	
234.	<p>30D NORTHOLT AVENUE, RUISLIP - 16490/APP/2011/1085 (Agenda Item 14)</p> <p>Retention of two storey, three-bedroom, end terrace dwelling with integral garage and associated amenity space and parking</p>	Action by

	<p>16490/APP/2011/1085</p> <p>The proposal was for retrospective planning permission for an end terrace property, that had not been built in accordance with the approved plans, which were for the erection of a row of four 2-storey 2-bedroom terraced houses, two with integral garages, together with frontage parking and vehicular crossovers (16490/APP/2006/1061).</p> <p>This particular property was constructed with 3-bedrooms and the position of the integral garage had been re-sited and was now situated against the shared party wall. However, the proposed dwelling was still considered to provide adequate amenities for future occupiers and the bulk and design was not considered materially different to that approved by the earlier grant of planning consent and as such, it was considered the design of the dwelling has been established by that permission as acceptable.</p> <p>With regard to the revised layout, the dwelling still provided 2 off-street parking spaces, together with an area of soft landscaping to the front and therefore, the design of the dwelling was considered to adequately integrate within the street scene without causing material harm to the residential amenities of the neighbouring properties.</p> <p>The application was recommended for approval subject to appropriate safeguarding conditions.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was agreed by a majority. Councillor Payne abstained from voting.</p> <p>Resolved –</p> <p>That the application be approved as per the agenda and the changes set out in the addendum, and delegated authority be given to the Head of Planning, Environment, Education & Community Services to update the policies.</p>	
235.	<p>516A VICTORIA ROAD, RUISLIP - 42660/APP/2011/739 (<i>Agenda Item 15</i>)</p> <p>Change of use from retail (Use Class A1) to a gymnasium (Use Class D2)</p> <p>42660/APP/2011/739</p> <p>The application related to the change of use of an A1 (retail) unit to D2 (Assembly and Leisure) for use as a gymnasium. The site was within the core area of South Ruislip Local Centre. Policy S9 stipulates change of use from A1 to other uses would only be granted outside these areas. However, due to the extended length of time this unit had not been used for A1 use (since mid 1990's), it was</p>	Action by

	<p>considered the change of use would not have an adverse impact on the established character of the Local Centre.</p> <p>Therefore, subject to appropriate conditions relating to hours of operation and noise control, deliveries, and air extraction systems, the proposal would not conflict with any of the relevant Adopted policies within the Hillingdon Unitary Development Plan Saved Policies (September 2007).</p> <p>This application was recommended for approval.</p> <p>Members discussed the usage and any noise issues that may arise. Members were satisfied with the proposal and change of usage.</p> <p>The recommendation for approved was moved, seconded and on being put to the vote was unanimously agreed.</p> <p>Resolved –</p> <p>That the application be approved as per the agenda and delegated authority be given to the Head of Planning, Environment, Education & Community Services to update the policies.</p>	
	<p>The meeting, which commenced at 7.00 pm, closed at 8.55 pm.</p>	

These are the minutes of the above meeting. For more information on any of the resolutions please contact Nav Johal on 01895 250692. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

Report of the Head of Planning & Enforcement Services

Address SOUTH RUISLIP EARLY YEARS CENTRE- PLOT 2 ACOL CRESCENT
RUISLIP

Development: Erection of a part two, part three storey block comprising 7, one-bedroom and 5, two-bedroom flats, together with associated car parking and landscaping (involving demolition of existing buildings).

LBH Ref Nos: 67607/APP/2011/1122

Drawing Nos: 2011/D1/P2/01
2011/D1/P2/02
2011/D1/P2/03 Rev. B
2011/D1/P2/04 Rev. B
2011/D1/P2/05 Rev. A
2011/D1/P2/06 Rev. C
2011/D1/P2/07 REV.A
2011/D1/P2/08 Rev.C
2011/D1/P2/09 Rev.C
Design and Access Statement Plot 2
Arboricultural Impact Survey Plot 2
Energy Statement Plot 2
PPG24 Noise Assessment (Ref: 4969.PPG24.02)
Surface Water Management Strategy Plot 2
Planning Statement

Date Plans Received: 05/05/2011 **Date(s) of Amendment(s):**

Date Application Valid: 05/05/2011

1. SUMMARY

Planning permission is sought for the erection of a part two, part 3 storey building to accommodate 7 one bedroom and 5 two bedroom flats. The proposal includes parking for 13 cars, secure cycle spaces and landscaped amenity areas and will involve the demolition of the existing single storey building, last occupied by South Ruislip Early Years Centre, which has recently been relocated to Queens Walk, Ruislip.

The site is now vacant for redevelopment and there are no plans currently to provide an alternative community use at the site. None of the current facilities that used the site are being displaced due to the proposed development. Refusal of the proposed scheme would therefore not lead to the continued use of a community facility. There are therefore no objections in principle to the loss of the previous community use and the redevelopment of this site for residential purposes.

14 letters of objection have been received, raising concerns primarily on the grounds of loss of sunlight, loss of outlook, increased traffic congestion, impact on the street scene, lack of parking and loss of privacy. A petition has also been received requesting that any replacement building should have fewer dwellings and be no higher than 2 storeys.

The scheme has been revised to address residents concerns, reducing the number of dwellings by one and the height of the building to 2 storeys adjacent to Bourne Court to

the east.

It is considered that the layout, siting and scale of the development is compatible with surrounding built form and would respect the established character of the area. There would be no material loss of residential amenity to surrounding occupiers and highway and pedestrian impacts are considered to be acceptable.

The application is therefore recommended for approval, subject to conditions and a S106 Agreement/Statement of Intent.

2. RECOMMENDATION

2.1 This authority is given by the issuing of this notice under Regulation 3 of the Town and Country Planning General Regulations 1992 and shall ensure only for the benefit of the land.

2.2 That the Council enter into a Statement of Intent/Legal Agreement under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) or other appropriate legislation to secure the following:

(i) That the affordable housing requirements from this development (6 units) shall be delivered off site on the adjacent site (Plot 1 ref: 65847/APP/2011/1132). This development shall not be commenced until the development on the adjacent site (plot 1) has been commenced, to ensure the deliverability of the affordable housing.

(ii) A financial contribution of £4,365.90 towards healthcare facilities.

(iii) A financial contribution of £463.45 towards library facilities and books.

(iv) A financial contribution of £10,000 towards Community Facilities/Recreational Open Space.

(v) If the construction period is in excess of 3 months and the construction cost is in excess of £2 million then a construction training contribution will be required, based on the formula in the Council's Planning Obligations SPD.

(vi). The applicants pay a sum to the Council equivalent to 2% of the value of contributions for compliance, administration and monitoring of the completed planning (and/or highways) agreement(s).

(vii). The applicants pay a sum to the Council of 3% of the value of contributions for specified requirements to project manage and oversee implementation of elements of the completed planning (and/or highways) agreement(s).

(viii) A financial contribution of £23,074 towards nursery, primary, secondary and post 16 education facilities.

2.3 That in respect of the application for planning permission, the purchaser of the Council's interest in the land meets the Council's reasonable costs in the preparation of the S111/S106 Agreements and any abortive work as a result of the agreements not being completed.

2.4. If the S106 Agreement has not been finalised within 12 months, the application is to be referred back to the Planning Committee for determination at the discretion of the Head of Planning, Consumer Protection, Sport and Green Spaces

2.6. That officers be authorised to negotiate and agree the detailed terms of the proposed agreements.

2.7. That subject to the above, the application be deferred for determination by the

Head of Planning, Consumer Protection, Sport and Green Spaces.

2.8. That if the application is approved, the following conditions be attached:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 M1 Details/Samples to be Submitted

No development shall take place until details and/or samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority. Such details shall include:

- (i) fenestration and doors
- (ii) balconies
- (iii) boundary walls and railings
- (iv) external lighting
- (v) comprehensive colour scheme for all built details
- (vi) Roof details

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 M3 Boundary treatment - details

No development shall take place until there has been submitted to and approved in writing by the Local Planning Authority a plan indicating the positions, design, materials and type of boundary treatment to be erected. The boundary treatment shall be completed before the building is occupied or in accordance with a timetable agreed in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

REASON

To safeguard the visual amenities of the area and residential amenities of adjoining occupiers, in accordance with Policies BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved, as listed in the attached schedule, unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 DIS1 Facilities for People with Disabilities

All the facilities designed specifically to meet the needs of people with disabilities that are shown on the approved plans shall be provided prior to the occupation of the

development and thereafter permanently retained.

REASON

To ensure that adequate facilities are provided for people with disabilities in accordance with Policy AM13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and London Plan (July 2011) Policy 7.2.

6 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further, one of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2011) Policies 3.1, 3.8, and 7.2.

7 H1 Traffic Arrangements - submission of details

The approved development shall not be occupied until the access, parking area and access road have been constructed in accordance with the drawings hereby approved. Thereafter, the parking areas, sight lines and loading areas must be permanently retained and used for no other purpose at any time. Disabled parking bays shall be a minimum of 4.8m long by 3.6m wide.

REASON

To ensure pedestrian and vehicular safety and convenience and to ensure adequate off-street parking, and loading facilities in compliance with Policies AM7, AM14 and AM15 of the adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

8 H13 Installation of gates onto a highway

No gates shall be installed which open outwards over the highway/footway.

REASON

To ensure that pedestrian and vehicular safety is not prejudiced in accordance with Policies AM7 and AM8 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

9 NONSC Non Standard Condition

The access for the proposed development shall be provided with 2.4m x 2.4m pedestrian visibility splays in both directions and the visibility splays shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

REASON

In the interest of highway safety in accordance with Policy AM7 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

10 H15 Cycle Storage - In accordance with approved plans

The development hereby permitted, shall not be occupied until the cycle storage facilities for 18 bicycles have been provided in accordance with the approved plans. Thereafter, these facilities shall be permanently retained on site and be kept available for the use of cyclists.

REASON

To ensure the provision and retention of facilities for cyclists to the development and hence the availability of sustainable forms of transport to the site in accordance with Policy AM9 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Chapter 3C of the London Plan. (February 2008).

11 N1 Noise-sensitive Buildings - use of specified measures

Development shall not begin until a sound insulation and ventilation scheme for protecting the proposed development from road traffic and other noise has been submitted to and approved in writing by the Local Planning Authority. The scheme shall meet acceptable internal noise design criteria. All works which form part of the scheme shall be fully implemented before the development is occupied and thereafter shall be retained and maintained in good working order for so long as the building remains in use.

REASON

To ensure that the amenity of the occupiers of the proposed development is not adversely affected by road traffic and other noise, in accordance with Policy OE5 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and Policy 7.15 of the London Plan (2011).

12 OM11 Floodlighting

No floodlighting or other form of external lighting shall be installed unless it is in accordance with details which have previously been submitted to and approved in writing by the Local Planning Authority. Such details shall include location, height, type and direction of light sources, light spillage and intensity of illumination. Any lighting that is so installed shall not thereafter be altered without the prior consent in writing of the Local Planning Authority other than for routine maintenance which does not change its details.

REASON

To safeguard the amenity of surrounding properties and in the interests of highway safety, in accordance with Policies BE13 and OE1 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

13 OM14 Secured by Design

The development hereby approved shall incorporate measures to minimise the risk of crime and to meet the specific security needs of the application site and the development. Details of security measures shall be submitted and approved in writing by the Local Planning Authority before development commences. Any security measures to be implemented in compliance with this condition shall reach the standard necessary to achieve the 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO).

REASON

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with policies 7.1 and 7.3 of the London Plan (July 2011).

14 OM19 Construction Management Plan

Prior to development commencing, the applicant shall submit a demolition and

construction management plan to the Local Planning Authority for its approval. The plan shall detail:

- (i) The phasing of development works
- (ii) The hours during which development works will occur (please refer to informative I15 for maximum permitted working hours).
- (iii) A programme to demonstrate that the most valuable or potentially contaminating materials and fittings can be removed safely and intact for later re-use or processing.
- (iv) Measures to prevent mud and dirt tracking onto footways and adjoining roads (including wheel washing facilities).
- (v) Traffic management and access arrangements (vehicular and pedestrian) and parking provisions for contractors during the development process (including measures to reduce the numbers of construction vehicles accessing the site during peak hours).
- (vi) Measures to reduce the impact of the development on local air quality and dust through minimising emissions throughout the demolition and construction process.
- (vii) The storage of demolition/construction materials on site.

The approved details shall be implemented and maintained throughout the duration of the demolition and construction process.

REASON

To safeguard the amenity of surrounding areas in accordance with Policy OE1 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

15 OM2 Levels

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

16 OM5 Provision of Bin Stores

The secure and screened storage facilities for refuse and recyclables as shown on the approved plans shall be provided prior to the occupation of any units within the site and thereafter the facilities shall be permanently retained.

REASON

To ensure a satisfactory appearance and in the interests of the amenities of the occupiers and adjoining residents, in accordance with Policy OE3 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

17 SUS1 Energy Efficiency Major Applications (full)

Prior to the commencement of development a detailed energy statement shall be submitted to and approved in writing by the Local Planning Authority. The statement shall demonstrate how the recommendations from the energy strategy (Acol Crescent Plot 2, Uxbridge, Hillingdon Energy Statement, AECOM April 2011) have been incorporated into the final development. The statement shall clearly set out the final amount (152.1m² notional) of Photovoltaic panels required to meet the reduction targets of the strategy, as

well as roof plans showing their location. The development shall proceed in accordance with the approved statement.

REASON

To reduce the CO2 emissions associated with the development and to reduce the exposure to rising energy prices for the residents, in accordance with Policy 5.3 and 5.7 of the London Plan (July 2011).

18 NONSC Non Standard Condition

The development shall proceed in accordance with the approved drainage strategy (AECOM, Acol Crescent Plot 2 Surface Water Management Strategy, April 2011, Rev 0) with final details relating to the size of surface water storage system to be submitted and agreed in writing with the Local Planning Authority. The development shall proceed in accordance with the approved strategy and updated details.

REASON

To minimise the increased risk of flooding by providing a sustainable form of drainage in accordance with PPS25 and Policy 5.13 of the London Plan (July 2011).

19 TL1 Existing Trees - Survey

Prior to any work commencing on site, an accurate survey plan at a scale of not less than 1:200 shall be submitted to and approved in writing by the Local Planning Authority. The plan must show:-

- (i) Existing and proposed site levels.
- (ii) Routes of any existing or proposed underground works and overhead lines including their manner of construction.

REASON

To enable the Local Planning Authority to assess the amenity value of existing trees, hedges and shrubs and the impact of the proposed development on them and to ensure that the development conforms with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

20 TL2 Trees to be retained

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority.

If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs'. Remedial work should be carried out to BS 3998 (1989) 'Recommendations for Tree Work' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings,

whichever is the earlier.

REASON

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) and to comply with Section 197 of the Town and Country Planning Act 1990.

21 TL5 Landscaping Scheme - (full apps where details are reserved)

No development shall take place until a landscape scheme providing full details of hard and soft landscaping works has been submitted to and approved in writing by the Local Planning Authority and these works shall be carried out as approved. The scheme shall include:

- Planting plans (at not less than a scale of 1:100),
- Written specification of planting and cultivation works to be undertaken,
- Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate,
- Implementation programme.

The scheme shall also include details of the following: -

- Proposed finishing levels or contours,
- Means of enclosure,
- Car parking layouts,
- Other vehicle and pedestrian access and circulation areas,
- Hard surfacing materials proposed,
- Minor artefacts and structures (such as play equipment, furniture, refuse storage, signs, or lighting),
- Existing and proposed functional services above and below ground (e.g. drainage, power cables or communications equipment, indicating lines, manholes or associated structures),
- Retained historic landscape features and proposals for their restoration where relevant.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

22 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the approved landscaping scheme and shall be completed within the first planting and seeding seasons following the completion of the development or the occupation of the buildings, whichever is the earlier period. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of hard and soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species

unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with Policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

23 TL7 Maintenance of Landscaped Areas

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include details of the arrangements for its implementation. Maintenance shall be carried out in accordance with the approved schedule.

REASON

To ensure that the approved landscaping is properly maintained in accordance with policy BE38 of the Hillingdon Unitary Development Plan (September 2007).

24 NONSC Non Standard Condition

No development shall take place until details of all balconies, including obscure screening have been submitted to and approved by the Local Planning Authority. The approved screening, where necessary, shall be installed before the development is occupied and shall be permanently retained for so long as the development remains in existence.

REASON

To ensure that the development presents a satisfactory appearance and to safeguard the privacy of residents in accordance with Policies BE13 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

25 NONSC Non Standard Condition

Prior to development commencing, the applicant shall submit a refuse management plan to the Local Planning Authority for its approval. The plan shall detail how the refuse and recycling bins shall be moved to a predefined collection point and how the service road is to be kept clear of parked vehicles on collection day. The approved measures shall be implemented and maintained for so long as the development remains in existence.

REASON

To safeguard the amenity of surrounding areas and in the interests of highway and pedestrian safety, in accordance with Policies OE1 and AM7 of the Hillingdon Unitary Development Plan (Saved Policies 2007).

26 NONSC Non Standard Condition

Before development commences, plans and details of one electric vehicle charging point, serving the development and capable of charging multiple vehicles simultaneously, shall be submitted to and approved in writing by the Local Planning Authority.

REASON

To encourage sustainable travel and to comply with London Plan Policy 5.3.

27 RPD3 Obscured Glazing

The corridor windows facing Bourne Court shall be non opening and glazed with

permanently obscured glass for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1

Specific security needs identified for the application site include CCTV coverage of certain key areas within the development, namely the main entrance and vehicular entrance to the development. This could be a simple fixed camera system for deterrence and retrospective investigation only and not monitored system. You are advised to submit details to expedite the specified security needs. In addition to the above, for this site to achieve 'Secured by Design' accreditation, you are advised to consult with the local Police Crime Prevention Design Adviser (CPDA). The CPDA's contact number is 0208 246 1769.

2

The developer is requested to maximise the opportunities to provide high quality work experience for young people (particularly the 14 - 19 age group) from the London Borough of Hillingdon, in such areas as bricklaying, plastering, painting and decorating, electrical installation, carpentry and landscaping in conjunction with the Hillingdon Education and Business Partnership.

3

Your attention is drawn to conditions 2, 3, 11, 13, 14, 15, 17, 19, 21, 23, 24, 25 and 26, which must be discharged prior to the commencement of works. You will be in breach of planning control should you commence these works prior to the discharge of these conditions. For further information and advice contact: Planning and Community and Environmental Services Group, Civic Centre, Uxbridge (Tel: 01895 250230).

4

You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Acts.

5

The applicant is encouraged to discuss with Council officers in conjunction with the Metropolitan Police Crime Prevention Officer whether on site CCTV cameras can be linked to the Council's central CCTV system.

6 11 **Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

7 111 **The Construction (Design and Management) Regulations 1994**

The development hereby approved may be subject to the Construction (Design and Management) Regulations 1994, which govern health and safety through all stages of a

construction project. The regulations require clients (ie. those, including developers, who commission construction projects) to appoint a planning supervisor and principal contractor who are competent and adequately resourced to carry out their health and safety responsibilities. Further information is available from the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (telephone 020 7556 2100).

8 112 Notification to Building Contractors

The applicant/developer should ensure that the site constructor receives copies of all drawings approved and conditions/informatives attached to this planning permission. During building construction the name, address and telephone number of the contractor (including an emergency telephone number) should be clearly displayed on a hoarding visible from outside the site.

9 114C Compliance with Building Regulations Access to and use of

You are advised that the scheme is required to comply with either:-

- The Building Regulations 2000 Approved Document Part M 'Access to and use of buildings', or with
- BS 8300:2001 Design of buildings and their approaches to meet the needs of disabled people - Code of practice.

AMD 15617 2005, AMD 15982 2005.

These documents (which are for guidance) set minimum standards to allow residents, workers and visitors, regardless of disability, age or gender, to gain access to and within buildings, and to use their facilities and sanitary conveniences.

You may also be required make provisions to comply with the Disability Discrimination Act 1995. The Act gives disabled people various rights. Under the Act it is unlawful for employers and persons who provide services to members of the public to discriminate against disabled people by treating them less favourably for any reason related to their disability, or by failing to comply with a duty to provide reasonable adjustments. This duty can require the removal or modification of physical features of buildings provided it is reasonable.

The duty to make reasonable adjustments can be effected by the Building Regulation compliance. For compliance with the DDA please refer to the following guidance: -

- The Disability Discrimination Act 1995. Available to download from www.opsi.gov.uk
- Disability Rights Commission (DRC) Access statements. Achieving an inclusive environment by ensuring continuity throughout the planning, design and management of building and spaces, 2004. Available to download from www.drc-gb.org.
- Code of practice. Rights of access. Goods, facilities, services and premises. Disability discrimination act 1995, 2002. ISBN 0 11702 860 6. Available to download from www.drc-gb.org.
- Creating an inclusive environment, 2003 & 2004 - What it means to you. A guide for service providers, 2003. Available to download from www.drc-gb.org.

This is not a comprehensive list of Building Regulations legislation. For further information you should contact Building Control on 01895 250804/5/6 and 8.

10 115 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

11 116 Directional Signage

You are advised that any directional signage on the highway is unlawful. Prior consent from the Council's Street Management Section is required if the developer wishes to erect directional signage on any highway under the control of the Council.

12 119 Sewerage Connections, Water Pollution etc.

You should contact Thames Water Utilities and the Council's Building Control Service regarding any proposed connection to a public sewer or any other possible impact that the development could have on local foul or surface water sewers, including building over a public sewer. Contact: - The Waste Water Business Manager, Thames Water Utilities plc, Kew Business Centre, Kew Bridge Road, Brentford, Middlesex, TW8 0EE.
Building Control Service - 3N/01, Civic Centre, High Street, Uxbridge, UB8 1UW (tel. 01895 250804 / 805 / 808).

13 12 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

14 121 Street Naming and Numbering

All proposed new street names must be notified to and approved by the Council. Building names and numbers, and proposed changes of street names must also be notified to the Council. For further information and advice, contact - The Street Naming and Numbering Officer, Planning & Community Services, 3 North Civic Centre, High Street, Uxbridge,

UB8 1UW (Tel. 01895 250557).

15 I25A **The Party Wall etc. Act 1996**

On 1 July 1997, a new act, The Party Wall etc. Act 1996, came into force.

This Act requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:-

- 1) carry out work to an existing party wall;
- 2) build on the boundary with a neighbouring property;
- 3) in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations or planning controls. Building Control will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by Building Control should be taken as removing the necessity for the building owner to comply fully with the Act.

16 I3 **Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

17 I52 **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

18 I53 **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

- | | |
|------|---|
| AM14 | New development and car parking standards. |
| AM15 | Provision of reserved parking spaces for disabled persons |
| AM7 | Consideration of traffic generated by proposed developments. |
| AM9 | Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities |
| BE13 | New development must harmonise with the existing street scene. |

BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
H4	Mix of housing units
H5	Dwellings suitable for large families
R11	Proposals that involve the loss of land or buildings used for education, social, community and health services
OE5	Siting of noise-sensitive developments
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.8	(2011) Housing Choice
LPP 5.13	(2011) Sustainable drainage
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 7.2	(2011) An inclusive environment
SPD-NO	Noise Supplementary Planning Document, adopted April 2006
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

19 I6 Property Rights/Rights of Light

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

20 I9 Community Safety - Designing Out Crime

Before the submission of reserved details required by condition 13, you are advised to consult the Metropolitan Police's Crime Prevention Design Advisor, Planning & Community Services, Civic Centre, Uxbridge, UB8 1UW (Tel. 01895 250538).

21

It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system. The hard standing shall therefore be so designed and constructed that surface water from the private land shall not be permitted to drain onto the highway or into the highway drainage system.

22

In seeking to discharge condition 6, the following access observations are provided:

1. From the internal face of the front door, the wheelchair standard unit should feature an obstruction free area not less than 1500 mm wide and 1800 mm to any door or wall opposite.
2. The bathrooms/ensuite facilities should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite. This should be shown on plan with the bath tub in place, and should not rely upon removal of the tub to achieve the 700 mm transfer space to one side.

3. CONSIDERATIONS

3.1 Site and Locality

The site is situated in a residential area near to South Ruislip Station, along Station Approach and the junction with Acol Crescent. The area in the immediate vicinity of the site is characterised by flatted development and semi detached and detached properties, situated along Acol Crescent, as well as Canfield Drive and Station Approach.

Access for vehicles is via Canfield Drive, which leads to a service Road at the rear of the site. The service road terminates at the rear of The Early Years Nursery.

The site contains a vacant single storey building, last used as the South Ruislip Early Years Centre. The adjoining site to the west also contains a single storey building which was last used as a temporary children's centre. This adjoining site is intended for redevelopment for 14 supported housing units and is the subject to a separate planning application which was considered by the North Planning Committee on 25 August 2011. Both former uses for application site and adjacent plot are to be relocated within a new purpose built building at Queens Walk, South Ruislip.

To the north east is Bourne Court, a residential development comprising 4, three storey blocks of flats. Between the application site and Bourne Court, there is a private alleyway. Further along Station Approach to the east, there is a parade of shops, which leads up to the South Ruislip London Underground railway station. Shops also occur to the west near the junction with West End Road and on the opposite side of Station Approach to the south.

3.2 Proposed Scheme

Planning permission is sought for the erection of a part two, part 3 storey building with a duo pitched roof for 7 one bedroom and 5 two bedroom flats. The block would be approximately 28 metres long and 18 metres deep, and set back between 3.4 and 4.4 metres from the Station Approach frontage, approximately in line with the adjacent block of flats (Bourne Court).

The scheme as originally submitted was for a 3 storey block containing 13 apartments. However, amended plans have been received reducing the eastern end to 2 storeys and the number of units to 12.

A front pedestrian entrance is situated at the western end of the block, directly off Station Approach. An entrance is also provided to the rear with parking access from the rear service road. Access to individual flat units is from a central corridor on each floor. Vertical circulation is by a staircase and a lift.

The vehicular access to the site is from Canfield Drive will be separated from an existing alleyway running parallel with the northern boundary of the site by secure timber fencing. Undercroft parking and parking to the rear of the block is provided for 13 vehicles, whilst cycle parking is provided at various locations in the site.

Amenity space is located to the rear of the block and to the south of the building. Boundary treatment is a mixture of retained chain link fence, brick piers with steel powder coated railings and close boarded fencing. The boundary encloses the entire development, with access controls for front and rear entrances /exits.

Materials and detailing will be similar between the Plot 1 and Plot 2 buildings, although the private flats on Plot 2 will be mainly three-storey in height to reflect the adjoining buildings to the east of Plot 2 (Bourne Court).

The application is supported by various reports that assess or provide information on the proposal. A summary and some key conclusions from these reports are provided below:

- Design and Access Statement

This report outlines the context for the development and provides a justification for the number of units, layout, scale and access for the proposed development. The report also provides a summary of the proposals and assesses them against policy and planning guideline considerations. The report includes Secure by Design and Access Statements.

- Energy Statement

The sustainability credentials of the scheme are assessed in respect of renewable energy resources and achieving savings in terms of CO2.

- Tree Survey and Impact Assessment

The statement has been prepared to ensure good practice in the protection of trees during the construction and post construction phases of the development.

- Surface Water Management Strategy April 2011

The report outlines the strategy for dealing with surface water generated from rainfall within Plot 1 site boundary.

- Noise Assessment Report

The report contains the results of noise and vibration surveys, compares the noise levels with PPG24 Criteria and details the results of the preliminary external building fabric assessment. The report concludes that suitable internal noise levels can be achieved with appropriate sound insulation.

- Transport Statement (N.B. Appendix to Design and Access Statement)

The assessment considers the accessibility of the site, examines predicted generation

trips by all modes, assesses the effect of the development on surrounding transport infrastructure and considers surfacing and refuse collection facilities. The assessment concludes that the development benefits from good levels of public transport accessibility and that adequate access and parking can be provided to serve the proposed development.

3.3 Relevant Planning History

Comment on Relevant Planning History

None

4. Planning Policies and Standards

London Plan July 2011.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
OE1	Protection of the character and amenities of surrounding properties and the local area
H4	Mix of housing units
H5	Dwellings suitable for large families
R11	Proposals that involve the loss of land or buildings used for education, social, community and health services
OE5	Siting of noise-sensitive developments
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning

Document, adopted January 2010

LPP 3.1	(2011) Ensuring equal life chances for all
LPP 3.8	(2011) Housing Choice
LPP 5.13	(2011) Sustainable drainage
LPP 5.3	(2011) Sustainable design and construction
LPP 5.7	(2011) Renewable energy
LPP 7.15	(2011) Reducing noise and enhancing soundscapes
LPP 7.2	(2011) An inclusive environment
SPD-NO	Noise Supplementary Planning Document, adopted April 2006
SPD-PO	Planning Obligations Supplementary Planning Document, adopted July 2008

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **23rd June 2011**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

This application has been advertised under Article 8 of the Town and Country Planning General Development Procedure Order 1995 as a Major Development. 126 surrounding occupiers were consulted. 14 letters of objection have been received. The following issues have been raised:

1. I am against the building of all these flats as it will create many more cars which will put even more traffic onto an already jammed road and cause more chaos.
2. Parking is a very problematic issue for Bourne Court and surrounding roads - parking would need to be ample and not allowed to overrun onto the tight number of spaces we have in Bourne Court.
3. I am not pleased about looking out of my kitchen window and seeing a 3 storey building, hopefully I will not be able to see into people's rooms.
4. My flat is the end flat which will overlook this development. My landing window should be considered to serve a habitable room. Concerned about my being overlooked by another building that is so high and so close to my window.
5. Concerned about the amount of light that will be lost to my flat by this new building.
6. Concerned about the reduction in privacy of my garden which is at the side of Bourne Court and runs alongside the current alleyway.
7. Visitor parking should be included within the development.
8. Concerned about the removal of the two large trees which overhang the alleyway and my garden.
9. I am disappointed the council has resorted to build these massive apartments and remove the last piece of peace and quiet around Canfield Drive and Acol Crescent.
10. Increased traffic into Canfield Drive and Acol Crescent. The road is too narrow for the traffic entering and leaving and causes a huge issue with local parking facilities.
11. The noise from the increased traffic to collect waste and other deliveries is going to cause a strain on the local road and cause undue stress for residents.
12. It will look horrendous and not blend into the current properties in Canfield Drive and Acol Crescent.
13. The walkways on flats will become a place for people to dry clothes and the like and this is not welcoming sight.

14. There is a glut of unsold flats in the area.
15. The children of the residents of the street will no longer be safe in the roads.
16. Please give us the residents of Canfield drive and Acol Crescent and the rest of the immediate area a place to go relax, a green space, a park for our children.
17. I wish to formally appose the plans due to a serious loss of privacy which will affect us, as the new building will overlook our property.
18. These new buildings will overlook our garden and block out the sun because of their height and size.
19. I will give my vote for it to go ahead.

In addition, a petition bearing 75 signatures has been received, objecting to the proposed development on the following grounds.

The area has suffered with over development in recent years. If the development goes ahead, we believe any replacement building should have fewer dwellings and be no higher than 2 storeys with a pitched roof, in keeping with the plans for Plot 1 and the surrounding buildings.

THAMES WATER

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of Ground Water. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required.

Thames Water would advise that with regard to sewerage infrastructure we would not have any objection to the above planning application.

With regard to water supply, this comes within the area covered by the Veolia Water Company.

DEFENCE INFRASTRUCTURE ORGANISATION: MoD has no safeguarding objections to this proposal.

NATIONAL AIR TRAFFIC SERVICES (NATS): No response.

MoD SAFEGUARDING, RAF NORTHOLT: No response.

SOUTH RUISLIP RESIDENTS ASSOCIATION: No response.

Internal Consultees

S106 Officer (PLOT 2)

The likely planning obligations should the application be recommended for approval are as follows:

Initial Heads of Terms sought:

1. Affordable Housing: the affordable housing requirement of 50% or 6 units is to be delivered on Plot 1 therefore meeting the affordable housing policy requirements for schemes of this nature.
2. Education: in line with the SPD a contribution in the sum of £23,074 is sought.

3. Health: in line with the SPD a contribution in the sum of £4,365.90 (£216.67 x 20.15) is sought.

4. Libraries: in line with the SPD a contribution in the sum of £463.45 (£23 x 20.15) is sought.

5. Community Facilities/ Recreational Open Space: in line with the SPD a contribution in the sum of £10,000 is sought. The site falls within an area of open space deficiency and as such it is considered reasonable to seek a combined contribution to deliver both obligations.

6. Construction Training: in line with the SPD, IF the construction period is in excess of 3 months AND the construction cost is in excess of £2 million then a contribution will be required Michael please clarify the time and cost so as to ascertain if this obligation is required.

7. Project Management and Monitoring Fee: in line with the SPD a contribution equal to 5% of the total cash contributions is sought to enable the mgmt and monitoring of the resulting agreement.

EDUCATION SERVICES

Based on the creation of 8 x 3-room and 5x 4-room private flats in South Ruislip, the contribution sought is £23,074 as follows: Nursery: £2,647; Primary: £9,785; Secondary: £6,159; Post 16+ £4,482.

ENVIRONMENTAL PROTECTION UNIT

No objections are raised to this proposal subject to the following comments:

Noise

Reference is made to the Noise Assessment carried out for the applicant by Practical Acoustics Ltd Report 4949.PPG24.02 dated 19th April 2011. It has been calculated that the overall site falls within Noise Exposure Category C of PPG24.

PPG 24 states that for sites falling within Noise Exposure Category C, planning permission should not normally be granted. Where it is considered that permission should be given, for example because there are no alternative quieter sites available, conditions should be imposed to ensure a commensurate level of protection against noise.

Road Traffic Noise - Southern facade (front of building)

The daytime equivalent continuous noise level (Leq) was predicted to be 68dB, placing it in upper Category C. Additionally, the night-time noise Leq was predicted to be 62dB, which also places the site in Category C. A series of measures are suggested in Chapters 5 & 6 which it is indicated can be employed to ensure noise levels in habitable rooms satisfy the Borough's Noise SPD.

Summary

Based on the results of the noise assessment I am satisfied that the requirements of the Borough's Noise SPD can be met using a combination of noise mitigation measures.

It is therefore recommended that the following condition be applied to ensure that the proposed development will satisfy the requirements of the Borough's Noise SPD, Section 5, Table 2:

Condition 1

Development shall not begin until a scheme for protecting the proposed development from road traffic noise has been submitted to and approved by the Local Planning Authority (LPA). The noise protection scheme shall meet acceptable noise design criteria both indoors and outdoors. The scheme shall include such combination of measures as may be approved by the LPA. The scheme shall thereafter be retained and operated in its approved form for so long as the use hereby

permitted remains on the site.

Reason: To safeguard the amenity of surrounding areas.

Condition 2

control impacts during the construction phase of a development. I would recommend a standard condition requiring a Construction Environmental Management Plan (CEMP) to include dust control measures to be employed on site.

Relevant Best Practice Guidance exists from the Greater London Authority; The Control of dust and emissions from construction and demolition.

(http://legacy.london.gov.uk/mayor/environment/air_quality/construction-dust.jsp) November 2006.

The standard Construction Site Informative is recommended.

Air Quality Assessment

The site is within the northern half of the Borough and therefore not located in the declared AQMA. No objections are therefore raised in respect of Air Quality.

URBAN DESIGN AND CONSERVATION OFFICER

BACKGROUND: This proposal has been the subject of many discussions and two site meetings with the architects. Though large, and maximising the available site potential, it is considered that it would relate to the existing neighbouring residential blocks, whilst presenting modern, well proportioned, elevations.

The block would front a highway, and the front boundary treatment appears to be very high. This aspect should be revised, or made a condition of the permission. Similarly the materials seem generally to be appropriate, but it may be necessary to introduce a second brick colour to provide more elevational interest. Samples of all materials should be made a condition of the permission.

RECOMMENDATIONS: Acceptable, subject to the two conditions described above.

SUSTAINABILITY OFFICER

No objections are raised to this proposal subject to the following:

Energy

The submitted energy strategy is sufficient to demonstrate that a 25% reduction in CO2 emissions can be achieved from a combination of renewable technology and improvements to the fabric of the building.

The following condition is necessary to connect the energy strategy to the final development design.

Prior to the commencement of development a detailed energy statement shall be submitted to and approved in writing by the Local Planning Authority. The statement shall demonstrate how the recommendations from the energy strategy (Acol Crescent Plot 2, Uxbridge, Hillingdon Energy Statement, AECOM April 2011) have been incorporated into the final development. The statement shall clearly set out the final amount (141.7m2 notional) of Photovoltaic panels required to meet the reduction targets of the strategy, as well as roof plans showing their location. The development shall proceed in accordance with the approved statement.

REASON

To reduce the CO2 emissions associated with the development and to reduce the exposure to rising energy prices for the residents, in accordance with Policy 4A.3 and 4A.7 of the London Plan.

SUDS

No objections are raised to the drainage strategy as submitted subject to the following condition:

The development shall proceed in accordance with the approved drainage strategy (AECOM, Acol Crescent Plot 2 Surface Water Management Strategy, April 2011, Rev 0) with final details relating to the size of surface water storage system to be submitted and agreed in writing with the Local Planning Authority. The development shall proceed in accordance with the approved strategy and updated details.

REASON

To minimise the increased risk of flooding by providing a sustainable form of drainage in accordance with PPS25 and Policy 4A.14 of the London Plan.

ACCESS OFFICER

In assessing this application, reference has been made to London Plan Policy 3A.5 (Housing Choice) and the Council's Supplementary Planning Document Accessible Hillingdon adopted January 2010.

The scheme should be revised and compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan. In addition, 10% of new housing should be built to wheelchair home standards and at least one supported housing unit should accord with relevant policies, legislation and adopted guidance.

The following access observations are provided:

1. From the internal face of the front door, the wheelchair standard unit should feature an obstruction free area not less than 1500mm wide and 1800 mm to any door or wall opposite.
2. The bathrooms/ensuite facilities should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100mm provided between the front edge of the toilet pan and a door or wall opposite. This should be shown on plan with the bath tub in place, and should not rely upon removal of the tub to achieve the 700mm transfer space to one side.

Conclusion: acceptable, subject to conditions to secure the above specifications.

TREE AND LANDSCAPE OFFICER

There is a group of three semi-mature trees in the middle of the site, a conifer hedge on one side of it, and a group two Leyland Cypresses at the front of the site. The trees and hedges make a small contribution to the amenity of the locality, but do not constrain the development of the site. However, any development should, in terms of Saved Policy BE38 of the UDP, retain or replace the trees and make provision for landscaping.

The application includes a Tree Survey/Report, and mentions that a landscaping scheme will be provided.

The revised scheme makes provision for the planting of about ten trees in replacement of the

existing trees, which will be removed to facilitate the development of the site. There is also space and scope for additional landscaping. Overall, the scheme will provide a landscaped setting to the new building and contribute to the amenity of the locality.

In this context and subject to conditions TL1 (ONLY services in relation to tree planting), TL5, TL6 and TL7, the application (for Plot 2) is acceptable in terms of Saved Policy BE38.

HIGHWAY ENGINEER

The existing building on site is a nursery, which is being relocated elsewhere in South Ruislip. The Council is currently constructing a new building in Queens Walk, South Ruislip, (The Learning and Development Centre Site), for a combined Children's Centre and Early Years Centre.

The site is situated in a residential area near to South Ruislip station, along Station Approach and at the junction with ACOL Crescent, South Ruislip.

Access for vehicles is via Canfield Drive, off ACOL Crescent. There is a service road off Canfield Drive at the rear of the site. Pedestrian access to the proposed development is proposed off Station Approach and the existing vehicular access off Canfield Drive is proposed to be utilised to access the car park for proposed development.

7 x 1 bed and 5 x 2 bed flats are proposed. 13 car parking spaces (including 2 disabled spaces) and 18 cycle storage spaces are proposed, which is considered acceptable for this development.

The location of the refuse storage is not acceptable as the bin trundle distance is significantly more than the 10m maximum allowable distance and the residents waste carrying distance may also be excessive for some of the flats.

The high hedge adjacent to the vehicular access restricts driver's visibility. 2.4 x 2.4m visibility splays should be provided at the access.

No objection is raised on the highways aspect of the application, subject to refuse storage being provided in an acceptable location or a refuse management plan being submitted and approved and the following conditions being applied:

Conditions

1. The development hereby approved shall not be occupied until the access, parking area and access road has been constructed in accordance with the drawings hereby approved.

2. The vehicular access shall be provided with those parts of 2.4m x 2.4m pedestrian visibility splays which can be accommodated within the site in both directions and shall be maintained free of all obstacles to the visibility between heights of 0.6m and 2.0m above the level of the adjoining highway.

Informatives

1. It is contrary to section 163 of the Highways Act 1980 for surface water from private land to drain onto the highway or discharge into the highway drainage system.

2. The applicant is advised to contact the Council's Highways Team in respect of the footway/crossover works.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The last authorised use of the site was for a day nursery. Saved Policy R11 of the UDP is

therefore considered relevant. This policy states:

The local planning authority will assess proposals which involve the loss of land or buildings used or whose last authorised use was for education, social, community and health services by taking into account whether:

(i) there is a reasonable possibility that refusal of permission for an alternative use would lead to the retention and continued use of the existing facility;

(ii) adequate accessible alternative provision is available to meet the foreseeable needs of the existing and potential users of the facility to be displaced;

(iii) the proposed alternative use accords with the other policies of this plan and contributes to its objectives

With regard to Saved Policy R11 (i) and (ii), the applicants have submitted a Planning Statement which provides a justification for the loss of the community facility from Acol Crescent and the relocation of these facilities elsewhere in the Borough. The last use of the site was South Ruislip Early Years Centre, which provides day nursery facilities for children under the age of 5. The South Ruislip Early Years Centre has been relocated to Queens Walk, on the South Ruislip Learning and Development Centre Site. Both uses for existing and adjacent plots are to be relocated within a new purpose built building, for combined use of the South Ruislip Early Years Centre and South Ruislip Children's Centre. This brand new facility provides services to families and children and is a much needed facility within the community. The facilities, which are available to the public, have been improved and the range of services has been extended. The applicants submit that the new facility in Queens walk is better located than the previous Early Years Centre, as it is away from the main road and has ample parking. It is also located close to Deanesfield School, making it easier for parents of school aged children to access the nursery facilities.

The site is now vacant for redevelopment and there are no plans currently to provide an alternative community use at the site. None of the current facilities that used the site are being displaced due to the proposed development. Refusal of the proposed scheme would therefore not lead to the continued use of a community facility, as none of the community facilities that have used the site in the past would continue to use it in the future, regardless of whether the current proposal is accepted or refused.

Given the factors above, it is considered that the proposal satisfies the requirements of Policy R11 (i) and (ii).

With regard to Saved Policy R11 (iii), there is an identified need for additional housing within the borough. The proposed alternative use for the site supports the other policies in the UDP by providing much needed accommodation. No objections are therefore raised to the loss of the community use and redevelopment of the site for residential purposes.

7.02 Density of the proposed development

Policy 3.4 of the London Plan (2011) advises that Boroughs should ensure that development proposals achieve the highest possible intensity of use compatible with local context and the site's public transport accessibility. The London Plan provides a density matrix to establish a strategic framework for appropriate densities at different locations. The site has a PTAL of 2 and is located within a suburban setting. The London Plan provides for a residential density between 50 - 95 u/ha and 150 - 250 hr/ha, at an average

of 2.7 - 3.0 hr/unit.

The proposed density for the site would be 226 hr/ha, which is within the London Plan guidelines, having regard to the site's Public Transport Accessibility Level. In terms of the number of units, the proposed density would be 90 units/ha, which is also within London Plan guidance. It is therefore considered that the proposed density is appropriate in this case.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

There are no archaeological or historic issues associated with this site.

7.04 Airport safeguarding

there are no airport safeguarding issues related to this development.

7.05 Impact on the green belt

There are no green belt issues associated with this site.

7.06 Environmental Impact

Not applicable to this development.

7.07 Impact on the character & appearance of the area

Saved Policies BE13 and BE19 seek to ensure that new development complements or improves the character and amenity of the area, whilst Policy BE38 seeks the retention of topographical and landscape features and provision of new planting and landscaping in development proposals. The scale, bulk and siting of buildings are key determinants in ensuring that the amenity and character of established residential areas are not compromised by new development.

In terms of siting, the building would be set back from the Station Approach frontage between 3.6 and 4.6 metres, in a staggered formation, thereby respecting the established building line set by the adjoining Bourne Court development. The eastern flank wall of the three storey element would be set back 1.4 metres from the side boundary and would maintain a gap of 8 metres to the adjacent Bourne Court. The 2 storey rear element, which would project a further 9 metres into the site, would be set back 7.4 from the eastern site boundary and maintain a distance of over 14 metres to Bourne Court. A distance of 2 metres is maintained between the development and the proposed 2 storey block of supported housing units which is the subject of a separate planning application (plot 1). Some 13 metres is maintained between the rear of the block and the rear site boundary whilst 22 metres is maintained between the block and the nearest adjoining residence in Canfield Drive. It is therefore considered that adequate space is maintained around the building and no objections are raised to the proposed siting.

In terms of the bulk and massing of the proposed block, the 3 storey element would be between 8 to 9 metres deep, which would be similar to the depth of the adjacent Bourne Court. Revised plans have been received, reducing the height to 2 storeys at the western end, in order to address issues relating to the residential amenity of occupiers of the adjoining Bourne Court. It is considered that the resultant part 3, part 2 storey building, though large, and maximising the available site potential, would relate to the existing neighbouring residential blocks, whilst presenting modern, well proportioned elevations.

With regard to the impact on the street scene, the block would front Station Approach, with an access core, including stairs and lift, provided at the eastern end of the building. The front boundary treatment would consist of a new brick and metal railings, with screen planting behind, enclosing private gardens to the ground floor flats. It is considered that this would be an improvement on the timber close boarded fencing which currently runs along this front boundary and would be compatible with the frontage treatment currently

enjoyed at the adjoining block of flats to the east (Bourne Court).

Although the building to site ratio would be tight, it is considered that a building of this size would not look out of place, or be overly dominant in the street scene. Amenity space is provided around the building with a significant area of open space to the rear, adjacent to the parking and rear entrance/exit. The Urban Design and Conservation Officer considers that the materials are generally appropriate, but it may be necessary to introduce a second brick colour to provide more elevational interest. This aspect can be covered by a condition.

In conclusion, it is considered that the layout siting and scale of the development is compatible with surrounding built form and would respect the established character of the area, in compliance with Policies BE13 and BE19 of the Unitary Development Plan Saved Policies (September 2007) and relevant design guidance.

7.08 Impact on neighbours

OUTLOOK

Policy BE21 of the Unitary Development Plan Saved Policies September 2007 states that planning permission will not be granted for new development, which by reason of its siting, bulk and proximity, would result in a significant loss of residential amenity of established residential areas. The Council's Supplementary Planning Document HDAS: Residential Layouts states that where a two or more storey building abuts a property or its garden, adequate distance should be maintained to overcome possible over domination. The distance provided will be dependent on the bulk and size of the building but generally 15m would be the minimum acceptable separation distance.

As part of the design, there is a substantial area of open space between the rear of the new building and the nearest existing private residential house in Canfield Drive. A distance of between 16 to 19 metres is maintained between the proposed building and the side boundary with No.2 Canfield Drive to the north of the site.

With regard to the impact of the proposed development on occupiers to the east, amended plans have been received increasing the gap between the 3 storey element of the proposed building and the adjacent Bourne Court to 14 metres. With regard to the 2 storey element to the rear, this is also set some 14 metres away from Bourne Court and falls outside the 45 degree angle of vision from the rear windows of that block. There are no windows in the flank elevation of Bourne Court facing the application site. In addition, an existing 2.2 metre wide alleyway is located between the application site and the adjoining Bourne Court. Although private gardens serving Nos. 5 and 7 Bourne Court exist beyond this alleyway, it is considered that the siting and height of the proposed block as amended, relative to the adjoining gardens is considered satisfactory. It is therefore considered that the proposal would not result in an over dominant form of development which would detract from the amenities of neighbouring occupiers, in compliance with Saved Policy BE21 of the UDP and relevant design guidance.

DAYLIGHT/SUNLIGHT

Policy BE20 of the Unitary Development Plan Saved Policies September 2007 states that the Local Planning Authority will seek to ensure that buildings are laid out so that adequate daylight, sunlight and amenities of existing houses are safeguarded. Saved Policy BE21 states that planning permission will not be granted for new development, which by reason of its siting, bulk and proximity, would result in a significant loss of

residential amenity of established residential areas.

The supporting text to saved Policies BE20 and BE21 states 'that while some proposals of substantial width, height and depth, may not cause loss of amenity by reason of daylight or sunlight, these may nonetheless still be over-dominant in relation to the adjoining property and/or its private amenity space. This in turn can result in a depressing outlook detracting from residential amenity'.

Concerns have been expressed that the proposal would overshadow the adjoining Bourne Court, which lies to the east of the proposed building. The amended scheme pulls back the three storey element away from the eastern boundary, such that there would be no loss of diffuse sunlight to the habitable windows or garden areas of Bourne Court. In addition, there will be no loss of direct sunlight to any of the habitable windows serving Bourne Court as a result of the development. Although there would be some loss of direct sunlight to the garden area of Nos. 5 and 7 Bourne Court in the afternoon, it is considered that this would not have a significantly detrimental impact, and would not be sufficient reason on its own to refuse the application.

With regard to the impact on properties to the north in Canfield Drive, it is not considered that there would be a material loss of daylight or sunlight to these neighbouring occupiers, as the proposed building would be sited a sufficient distance away from those adjoining properties. It is also considered given its layout, that there will be a good level of day lighting for the proposed development. The proposal is therefore considered to be consistent with Policy BE20 of the UDP Saved Policies September 2007 and relevant SPD.

PRIVACY

Policy BE24 of the UDP Saved Policies September 2007 seeks to ensure that the design of new buildings protects the privacy of the occupiers and their neighbours. The supporting text to this policy states that 'the protection of privacy, particularly of habitable rooms (including kitchens) and external private amenity space is an important feature of residential amenity'.

The Council's SPD also provides further guidance in respect of privacy, stating in particular that the distance between habitable room windows should not be less than 21m and at paragraph 4.12 states that 'new residential development should be designed so as to ensure adequate privacy for its occupants and that of the adjoining residential property from windows above ground floor, an angle of 45 degrees each side of the normal is assumed in determining facing, overlooking distances. This requirement has been adhered to so as to respect the residential amenity of existing residents.

To the rear of the proposed building, a minimum distance of 21 metres is maintained from the first and second floor windows to the private amenity area of the nearest adjoining residence in Canfield Drive. It is also proposed to provide angled windows at the western end of the proposed block on the first and second floors, in order to reduce the perception of overlooking to the garden of No 2 Canfield Drive. This can be secured by condition. In addition, it is proposed to plant trees on the along the northern boundary, to provide enhanced screening. In addition, only high level secondary windows serving the bedrooms of a second floor flat and obscure, non opening glazing to the corridor will be provided on the flank elevation facing Bourne Court. The proposal will therefore not result in overlooking or loss of privacy issues to residents of that block. The proposal is therefore considered to be consistent with Saved Policy BE24 of the UDP and the SPD.

7.09 Living conditions for future occupiers

All units comply with the Council's SPD and London Plan standards for minimum internal floor areas. The seven 1 bedroom flats would be 50.8m², four of the 2 bedroom flats would be 74.7m², whilst one of the two bedroom flats would be 102.6m². It is not considered that these units would result in a poor internal living environment for future occupiers.

Policy BE23 of the Unitary Development Plan Saved Policies September 2007 requires the provision of external amenity space which is sufficient to protect the amenity of the development and surrounding buildings and which is usable in terms of its shape and siting, for future occupiers. For one bedroom flats a minimum 20m² per unit should be provided and for two bedroom flats a minimum of 25m² per unit should be provided. In accordance with this standard, a total of 265m² of amenity space is required.

The application identifies a communal amenity area at the rear of the site comprising 235m². In addition, private gardens serving the ground floor flats totalling 128sq.m are also provided, together with balconies to the upper floor flats. The amenity space provision is therefore in excess of the SPD requirements. Any future landscaping scheme could also incorporate low hedge borders around the rear ground floor level patio area, which allows the demarcation between private and communal amenity areas. Overall, it is considered that the proposed development would provide good living conditions for all of the proposed units in accordance with Policies BE23, BE24, OE1 and OE5 of the UDP, the SPD HDAS: Residential Layouts and the provisions of the London Plan.

7.10 Traffic impact, car/cycle parking, pedestrian safety

ACCESS

Vehicular access to the new development will utilise the existing entrance to the rear of the site via Canfield Drive. This existing northern access drive will also serve the adjacent Plot 1. A right of access is therefore intended through plot 1 to this development (plot 2). Pedestrian access to the proposed development is also provided off Station Approach. There will be controlled gate access at the entrance to the application site at the boundary with plot 1.

The bin store is located close to the vehicular entrance to the site, adjacent to the car parking areas. The applicants state that refuse vehicles for waste will use the access road and park in it, to collect waste from the development. The Highway Engineer notes that in the event that the refuse vehicle is not able to access the site, the bin trundle distance of the refuse storage would be more than the 10m maximum allowable distance. It is therefore recommended that a condition be imposed, requiring details of a refuse management plan, detailing how the refuse and recycling bins shall be moved to a predefined collection point on collection day.

Overall, the Highway Engineer raises no objections to the access arrangements, subject to a condition requiring adequate sight lines to be maintained at the entrance to the development on Canfield Drive. Subject to the implementation of these measures, it is considered that adequate vehicular access to the site can be provided, and highway and pedestrian safety would not be prejudiced, in compliance with Policy AM7 of the UDP Saved Policies September 2007.

PARKING

There are 12 individual self-contained flats proposed. Parking for the proposed

development will be a total of 13 bays, two of which are wheelchair-accessible. This equates to one parking space per unit, plus one visitor space. The site has a PTAL rating of 2 and there is pay and display parking available in the immediate vicinity. The Council's Highways Engineer has raised no objection to the level of car parking and has confirmed that all parking spaces would be of sufficient dimensions and usable. As such, it is considered that the application complies with UDP Saved Policies AM14 and AM15 of the UDP.

In addition, the submitted plans indicate that secure cycle storage for 18 cycles can be provided. It is considered the 18 secure cycle parking spaces are sufficient to serve this development. As such, the scheme would be in accordance with the Council's standards and Saved Policy AM9 of the UDP.

7.11 Urban design, access and security

HOUSING MIX

Policies H4 and H5 seek to ensure a practicable mix of housing units are provided within residential schemes. One and two bedroom developments are encouraged within town centres. The proposed mix of one and two bedroom units would have been more appropriate in a town centre location. However, the proposal would result in net gain of 12 units, which would contribute towards meeting the housing need in the Borough. The lack of larger units is therefore not considered to be a sustainable reason to refuse this application.

SECURITY

A number of security features have been integrated into the design of the scheme, following meetings between the developers and the local Secure by Design Officer from the Metropolitan Police. These measures include appropriate entrance door set-backs; post boxes adjacent to the front entrance door and collection only accessible by residents internally; secure boundary treatment; cycle stores in secure enclosures; access control from the parking area maintained via a pair of pedestrian gates and controlled access to the front entrance from Station Approach. It is intended that all access controls, footpaths, and approaches at entrances/exits are accessible in accordance with BS8300:2009+A1 2010 and associated codes of practice.

Other issues relating to urban design have been dealt with elsewhere in the report.

7.12 Disabled access

HDAS was adopted on the 20th December 2005 and requires all new residential units to be built to lifetime home standards and 10% of units designed to wheelchair accessible standards. Policy 7.2 of the London Plan expects all future development to meet the highest standard of accessibility and inclusion. This together with the Mayor's Supplementary Planning Guidance 'Accessible London: achieving an inclusive environment' underpins the principles of inclusive design and the aim to achieve an accessible and inclusive environment consistently across London.

The proposed development is designed to be accessible and inclusive in terms of access from the parking area to entrances, effective door widths and internal arrangements. It is intended that all access controls, footpaths, and approaches at entrances/exits are accessible in accordance with BS8300:2009+A1 2010 and associated codes of practice. Level access thresholds are incorporated at entrances and exits. In addition, a 13-person lift for access to the first floor is to be provided and will be in accordance with Part M Building Regulations, Approved Document M (2004) and BS8300:2009+A1 2010. There is

sufficient space provided in the protected staircase at first floor level or adjacent to the lift for an emergency fire refuge.

Two ground floor units are designed to wheelchair-home (design) standard. Bathrooms/shower rooms are configured to allow access to Lifetime Home standards, and for the wheelchair units, to wheelchair home standard.

The Access Officer considers that the proposal is acceptable subject to minor revisions to address Lifetime Home and Wheelchair Home Standards (as relevant). This is covered by condition and an informative. Overall, subject to this condition, the proposal is considered to be in accordance with London Plan (2011) Policy 7.2 and the Hillingdon Design and Accessibility Statement (HDAS): Accessible Hillingdon.

7.13 Provision of affordable & special needs housing

The London Plan sets the policy framework for affordable housing delivery in London. The Planning Obligations Supplementary Planning Document (supplementary planning guidance) adopted in July 2008 states that the Council will always seek the provision of affordable housing on-site except in exceptional circumstances. The Council will consider affordable housing tenure mix on a site by site basis with reference to housing needs, financial viability and/or the London Plan as appropriate.

The application exceeds the threshold of 10 units and above. Therefore affordable housing provision by way of a S106 Legal Agreement/Statement of Intent is required. None of the units in this scheme are to be delivered as affordable housing. However, it is intended that the affordable housing requirements from this site (6 units) will be provided on the adjacent site (Plot 2). Although Plot 1 and Plot 2 are separate planning applications, since Plot 1 is 100% affordable (i.e. supported housing), this will negate the requirement for any affordable housing on Plot 2. It is intended to secure the off site affordable housing obligations by way of a S106 Agreement or Statement of Intent.

7.14 Trees, Landscaping and Ecology

Policy BE38 of the Unitary Development Plan Saved Policies states, amongst other things that development proposals will be expected to retain and utilise topographical and landscape features of merit. The application includes a Tree Survey / Report, and a statement that a landscaping scheme will be provided.

The Tree and Landscape Officer notes that there is a group of three semi-mature trees in the middle of the site, a conifer hedge on one side of it, and a group two Leyland Cypresses at the front of the site. The trees and hedges make a small contribution to the amenity of the locality, but do not constrain the development of the site.

The revised scheme makes provision for the planting of some ten trees in replacement of the existing trees, which will be removed to facilitate the development of the site. There is also space and scope for additional landscaping. The applicants state that these details will be incorporated in a detailed landscaping plan which will include treatment and materials for footpaths, walkways, fencing to boundaries and private gardens, planting and soft/hard landscaping. The amenity space and areas surrounding the building will incorporate lawn, trees, shrubs and planting, surrounding the new building. An existing laurel bush is to be retained to the west of the site, and extended behind the proposed boundary fencing fronting Station Approach.

Overall, it is considered that the scheme will provide a landscaped setting to the new building and contribute to the amenity of the locality. Subject to relevant landscape conditions to ensure compliance, the proposal is considered acceptable in terms of Saved

UDP Policy BE38.

7.15 Sustainable waste management

Refuse is provided on the ground floor next to the car parking spaces and meets the necessary pulling distance and vehicle access requirements.

7.16 Renewable energy / Sustainability

Policy 5.2 of the London Plan July 2011, seeks to ensure the development reduces CO2 emissions. An energy assessment has been submitted with the application. Photovoltaic cells are recommended as the preferred renewable technology. The Sustainability Officer considers that the submitted energy strategy is sufficient to demonstrate that a 25% reduction in CO2 emissions can be achieved from a combination of renewable technology and improvements to the fabric of the building.

It is therefore considered that sustainability issues could adequately be dealt with by suitably worded condition in the event of an approval. Such conditions would require the submission of a detailed energy assessment, setting out the baseline energy consumption and associated CO2 emissions of the development as if constructed to 2010 Building Regulations. The assessment would then need to provide clear details of a 25% reduction in CO2 emission from energy efficiency measures and renewable energy. The assessment would also include specifications of any technology to be used and their locations on suitably scaled plans.

7.17 Flooding or Drainage Issues

The site lies within Flood Zone 1 and is less than 1 hectare and therefore in accordance with Planning Policy Statement 25: Development and Flood Risk (Communities and Local Government, 2006, updated 2010) (PPS25), a site specific Flood Risk Assessment is not required.

A Surface Water Management Strategy has been submitted with the application. No objections are raised to the drainage strategy as submitted subject to the final details relating to the size of surface water storage system to be submitted and agreed. Subject to a condition being imposed requiring these details to be submitted and agreed and for the development to proceed in accordance with the agreed strategy, it is considered that the increased risk of flooding will be minimised, in accordance with PPS25 and Policy 5.13 of the London Plan.

7.18 Noise or Air Quality Issues

The application site is on a busy high road. It is therefore reasonable to expect that traffic noise is likely to be high enough to affect the residential amenities of future occupiers. Although the site falls within NEC C as defined in PPG24, it is considered that flattened development is acceptable in principle, subject to adequate sound insulation.

The acoustic assessment contains recommendations which, if implemented, would reduce noise to levels that comply with reasonable standards of comfort, as defined in British Standard BS8233:1999 'Sound insulation and noise reduction for buildings - Code of Practice'. It is considered that the issue of sound insulation can be addressed by the imposition of a suitable condition. Subject to compliance with this condition, it is considered that the scheme is in compliance with Saved Policy OE5 of the UDP.

7.19 Comments on Public Consultations

The issues raised have been dealt with in the main body of the report.

7.20 Planning Obligations

Policy R17 seeks to supplement the provision of recreational open space and other community, social and educational facilities through planning obligations. The applicant

has agreed to a full range of planning obligations required to offset the impact of the development, including contributions towards the provision of education, healthcare, community/recreational open space, and libraries. A contribution can also be secured in respect of project management and monitoring.

The following planning obligations have been agreed:

1. That the affordable housing requirements from this site (6 units) shall be provided on the adjacent site (Plot 2 ref: 65847/APP/2011/1132).
2. Education: A contribution of £23,074 is sought for nursery, primary, secondary and post 16 education facilities in the locality has been agreed.
3. Health: in line with the Supplementary Planning Document a contribution in the sum of £4,365.90 has been agreed.
4. Libraries: in line with the SPD a contribution in the sum of £463.45 has been agreed.
5. Community Facilities/ Recreational Open Space: in line with the Supplementary Planning Document, a contribution in the sum of £10,000 has been agreed. The site falls within an area of open space deficiency and as such it is considered reasonable to seek a combined contribution to deliver both obligations.
6. Construction Training: in line with the Supplementary Planning Document, if the construction period is in excess of 3 months and the construction cost is in excess of £2 million then a contribution will be required equal to £2,500 for every £1 million build cost.
7. Project Management and Monitoring Fee: in line with the Supplementary Planning Document a contribution equal to 5% of the total cash contributions has been agreed, to enable the management and monitoring of the resulting agreement.

The applicant has agreed to these proposed Heads of Terms, which are to be secured by way of a Statement of Intent or a S106 Agreement. Overall, it is considered that the level of planning benefits sought is adequate and commensurate with the scale and nature of the proposed development, in compliance with Policy R17 of the UDP.

7.21 Expediency of enforcement action

There are no enforcement issues associated with this site.

7.22 Other Issues

There are no other issues relating to this application.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable.

10. CONCLUSION

No objection is raised to the principle of the use of this redundant Children's centre site for supported housing. The density of the proposed development is in accordance with London Plan guidance, whilst the bulk and scale of the proposed building is considered appropriate for the site and existing surrounding development.

It is considered that the proposal will not detract from the visual amenities of the street scene or the character and appearance of the area. It provides a satisfactory form of accommodation for future residents and the amenities of adjoining residents would not be adversely affected by the proposals. It is considered that highway and pedestrian safety issues have been satisfactorily addressed.

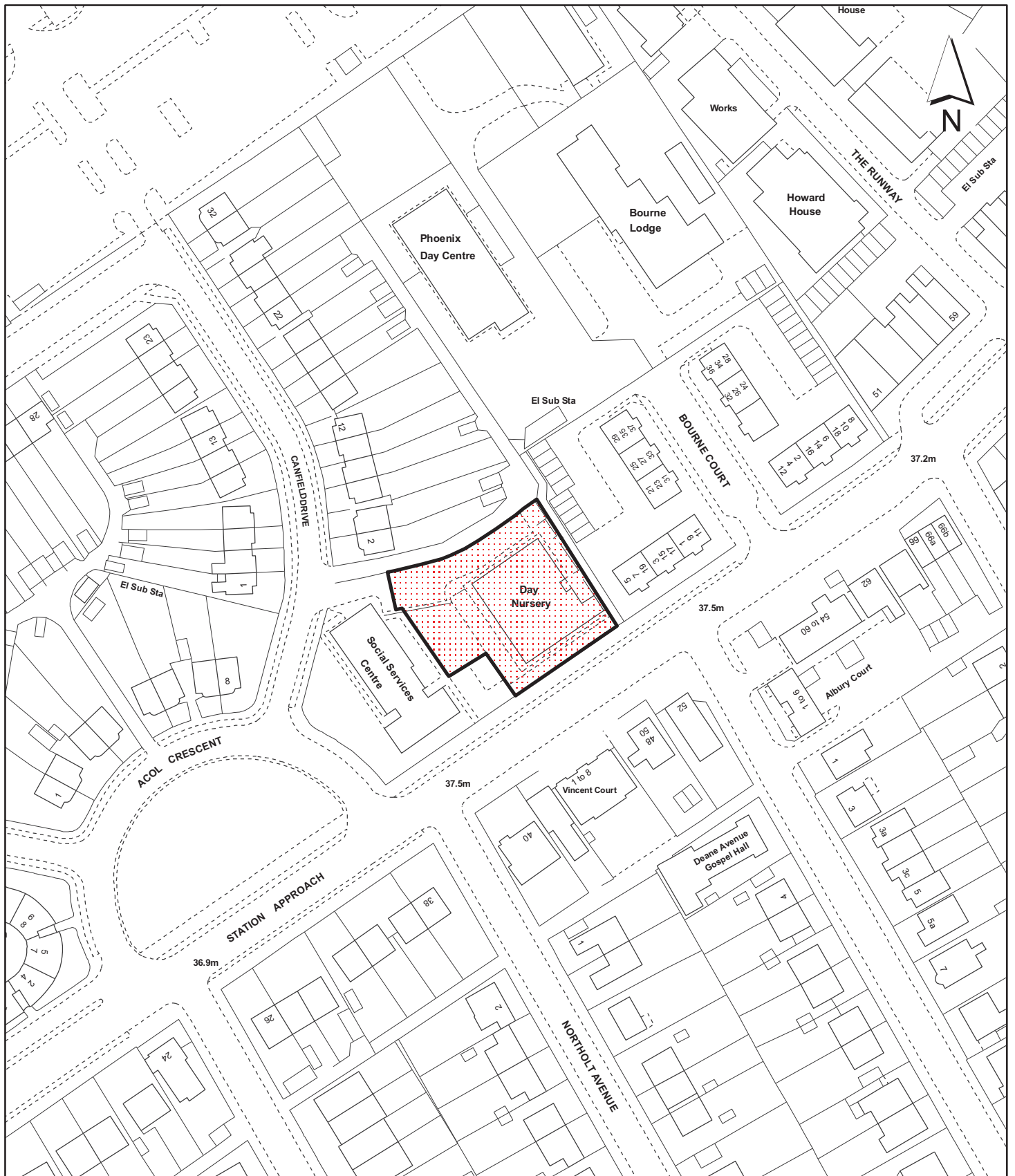
The proposal is considered to satisfy the relevant saved policies of the UDP and as such the application is recommended for approval, subject to the recommended conditions and S106 Agreement or Statement of Intent, securing contributions towards, education, health care facilities, construction training, public open space, management and monitoring.

11. Reference Documents

Unitary Development Plan Saved Policies September 2007
HDAS: Residential Layouts
Planning Policy Statement 1 (Delivering Sustainable Development)
Planning Policy Statement 3 (Housing)
Planning Policy Statement 9 (Biodiversity and Geological Conservation)
Planning Policy Guidance Note 13 (Transport)
Planning Policy Guidance Note 24 (Planning and Noise)
The London Plan (July 2011)
Representations

Contact Officer: Karl Dafe

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.
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Site Address

**South Ruislip Early Years -
 Plot 2 Acol Crescent
 Ruislip**

Planning Application Ref:

67607/APP/2011/1122

Planning Committee

North Page 48

Scale

1:1,250

Date

**August
 2011**

**LONDON BOROUGH
 OF HILLINGDON
 Planning,
 Environment, Education
 & Community Services**

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



HILLINGDON
 LONDON

Report of the Head of Planning & Enforcement Services

Address 22 PAVILION WAY RUISLIP

Development: Demolition of existing detached store to rear, erection of single storey side/rear extension and alteration to first floor side elevation

LBH Ref Nos: 17423/APP/2011/57

Drawing Nos: Location Plan to Scale 1:1250
3 (Existing Floor Plans and Elevations)
2 Amended 8. 8. 2011 (Proposed Elevations)
1 Amended 8. 8. 2011 (Proposed Floor Plans)
4 Amended 8. 8. 2011 (Proposed Block Plan)

Date Plans Received: 11/01/2011 **Date(s) of Amendment(s):** 11/01/2011
Date Application Valid: 20/01/2011 16/08/2011

DEFERRED ON 4th August 2011 FOR FURTHER INFORMATION ON

The accuracy of the submitted plans and an overshadowing assessment.

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located on the north side of Pavilion Way and comprises a two storey semi-detached property finished in red brick, with white render and white UPVC windows and a wooden door. The property has a detached garage to the rear which is presently used as a store, an area of hardstanding to the front and has been extended to the rear with a single storey extension. A loft conversion involving the formation of a gable end and the construction of a rear dormer has recently been undertaken as Permitted Development.

The street scene is residential in character and appearance and the application site lies within the developed area as identified in the Hillingdon Unitary Development Plan Saved Policies (September 2007).

1.2 Proposed Scheme

Planning permission is sought for the erection of a single storey side/rear extension with alterations to the first floor side elevation of the existing house and demolition of the existing detached store to the rear. The extension would replace the existing single storey rear extension. It would project 3.6 metres from the original rear wall of the property and have an overall width of 7.6 metres. It would be set back 5.4 metres from the front main

wall of the property. It would be constructed with a flat roof to a height of 2.98 metres and be finished in materials to match the existing. The alterations to the first floor side elevation would comprise the installation of an additional toilet window.

1.3 Relevant Planning History

17423/APP/2010/1662 22 Pavilion Way Ruislip

Two storey side and rear extension, single storey rear extension, conversion of roofspace to habitable use to include a rear dormer, 1 front rooflight and conversion of roof from hip to gable end, involving demolition of single storey rear element.

Decision Date: 01-11-2010 **Refused** **Appeal:**

Comment on Planning History

Planning permission was refused on 1 November 2010 (17423/APP/2010/1662) for a two storey side and rear extension, conversion of roofspace to habitable use to include a rear dormer, 1 front rooflight and conversion of roof from hip to gable end, including demolition of single storey rear element for the following reasons:

1. The proposed two storey side and rear extension, by virtue of its siting, size, scale and bulk, would result in an incongruous addition which would be detrimental to the architectural composition of the existing dwelling and the pair of semi detached properties to which it forms a part of. The proposal would therefore be harmful to the visual amenities of the street scene and the area in general, contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Documents HDAS: Residential Extensions.

2. The proposed rear extension, by reason of its size, scale bulk including its excessive height and projection, would result in an overly dominant and incongruous feature in relation to the adjoining properties (No. 20 and No. 24 Pavilion Way), and as such would result in a visually intrusive and an un-neighbourly form of development, resulting in a material loss of residential amenity. Furthermore at ground floor level the single storey extension on the boundary with No. 20 Pavilion Way would result in over-shadowing of this property. Therefore the proposal would be contrary to policies BE19, BE20 and BE21 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

3. The proposed dormer by virtue of its siting, size, scale and bulk, would be an incongruous addition which would be detrimental to the architectural composition of the existing dwelling and the visual amenities of the area in general, contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Documents HDAS: Residential Extensions.

4. The proposed hip to gable end roof alteration by virtue of its design and appearance would be an incongruous addition which would be detrimental to the architectural composition of the pair of semi-detached properties and would create an unbalanced appearance. The proposal would therefore have a detrimental impact on the appearance of the existing dwelling and the pair of semi detached properties to which it forms a part of. The proposal is therefore contrary to Policies BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

5. The proposed dwelling would not be provided with sufficient off street parking, and

therefore the development is considered to be deficient in car parking provision to the Councils approved car parking standards, leading to on-street parking to the detriment of highway and pedestrian safety, contrary to policy AM14 of the Hillingdon Unitary Development Plan (Saved Policies September 2007).

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

EXTERNAL:

7 neighbours and the Eastcote Residents Association were consulted. A petition signed by 21 persons was received objecting to the proposal on the grounds that it is oversized and poses potential environmental issues.

Eastcote Residents' Association

This is the second application on this site. The first being refused in October 2010. This application is for a much smaller development, but there are still some concerns. The rear element does appear to extend more than the 3.9 meters recommended in SPD 3.9. The small front garden is given over to parking for one vehicle, the driveway is shared with No. 24. At present there is a side access to the rear of no.22. However, the proposed side extension would remove the access to the rear garden, making it necessary to store refuse in the front garden. No allowance has been made for a bin store, indeed with the shared drive there is not adequate room for a bin store. Therefore, all refuse will have to be brought through the house. We trust these points will be taken into consideration.

Officer comments:

The size of the extension and parking issues are discussed under main planning issues. With regard to the storage of refuse, it is likely that this would take place in the rear garden and brought through the house to the front of the property on the day of collection. This is considered acceptable. Details of a bin store in the rear garden could be secured by an appropriate condition in the event of planning permission being granted.

The application was deferred at the meeting of the Committee on 4 August 2011 in order that the precise location of the party boundary with the adjoining property, No.20 Pavilion Way could be clarified with the applicant. The applicant has subsequently submitted a revised drawing showing the party boundary set at an angle, rather than perpendicular to the rear wall of the two properties. As a consequence the applicant has reduced the overall width of the extension from 8.4 metres to 7.6 metres in order to avoid any encroachment onto No.20 Pavilion Way. Neighbouring occupiers have been reconsulted on the revised drawings. No further replies have been received.

INTERNAL:

Trees and Landscape Officer

This site is not covered by a TPO, nor inside a Conservation Area. There is a line of boundary trees (hawthorn and ash) to the rear of this property (off site), however they are far enough away from the proposed extension to not be affected. There are no suitable locations to plant new trees. Therefore, the scheme is acceptable in terms of Saved Policy BE38 of the UDP.

Highway Engineer: No objection.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area.

Part 2 Policies:

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

AM14 New development and car parking standards.

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

5. MAIN PLANNING ISSUES

The main issues for consideration with this application are the design of the proposed development, impact on residential amenity, and highway safety and parking.

Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) requires that the layout and appearance must harmonise with the existing street scene, Policy BE15 goes on to state that extensions must be in keeping with the scale, form and architectural composition of the original building. The side element of the proposed extension would be set back 5.4 metres behind the front main wall of the house and would not be readily visible in the street scene due to the angled building line of the properties on this side of Pavilion Way. As such, the proposal would not be detrimental to the appearance of the property or the street scene and accord with the aforementioned Policies.

The Hillingdon Design and Accessibility Statement Residential Extensions Supplementary Planning Document (SPD) provides the following guidance in respect of house

extensions:

Section 3 of the SPD sets out criteria to assess single storey rear extensions against. This includes the following thresholds for appropriate scale and design.

- Para 3.4: Should not exceed 3.6m in depth on a semi-detached plot;
- Para 3.6: The roof should not exceed 3.0m in height in the case of a flat roof;
- Para 3.9: The extension should be set in 0.25m from the side boundary.

The proposed single storey rear extension would not exceed 3.6m in depth or 3m in height and would be set in a minimum of 0.25m from the side boundaries. As such, the proposal would accord with the aforementioned policies and guidance.

With regard to impact on neighbouring amenity, Policy BE21 of the Hillingdon Unitary Development Plan Saved Policies (September 2007) is relevant and should be considered. The policy states that planning permission will not be granted for new buildings or extensions which by reason of their siting, bulk and proximity, would result in a significant loss of residential amenity.

The proposed single storey rear extension would project 3.6m to the rear of the property and would not result in any undue loss of light or outlook to the adjoining properties at Nos. 20 and 24 Pavilion Way. An overshadowing diagram will be on display at the meeting. As such, the proposal would accord with the aforementioned policy.

A garden area of in excess of 100m² would be retained, in accordance with guidance set out in the Residential Extensions SPD and Policy BE23 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Policy AM14 of the UDP (Saved Policies September 2007) refers to the Council's car parking standards contained under Annex 1. The standards indicate that a maximum of 2 car parking spaces would be permitted in order to comply with the policy. There is currently an area of hardstanding to the front of the dwelling with provision for one car and a garage to the rear. The garage is to be demolished as part of the application and no additional parking provision is to be provided. However, the Council's Highway Engineer has revisited the site and considers that the remaining parking provision of 1 car parking space is sufficient for the existing 3 bedroom dwelling as any overflow parking could take place on-street, as Pavilion Way is not a particularly heavily parked road with most of the properties on the road having some off-street parking available. As such, the parking provision is considered to be acceptable and would not result in an undue impact on highway and pedestrian safety.

6. RECOMMENDATION

APPROVAL subject to the following:

1 HH-T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HH-OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 HH-M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 HH-RPD1 No Windows or Doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no windows, doors or other openings shall be constructed in the walls of the development hereby approved facing 20 and 24 Pavilion Way

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 RPD4 Prevention of Balconies/Roof Gardens

The roof area of the extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

Policy No.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building

Control,

3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

- 6 You have been granted planning permission to build a residential extension.

When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
- carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

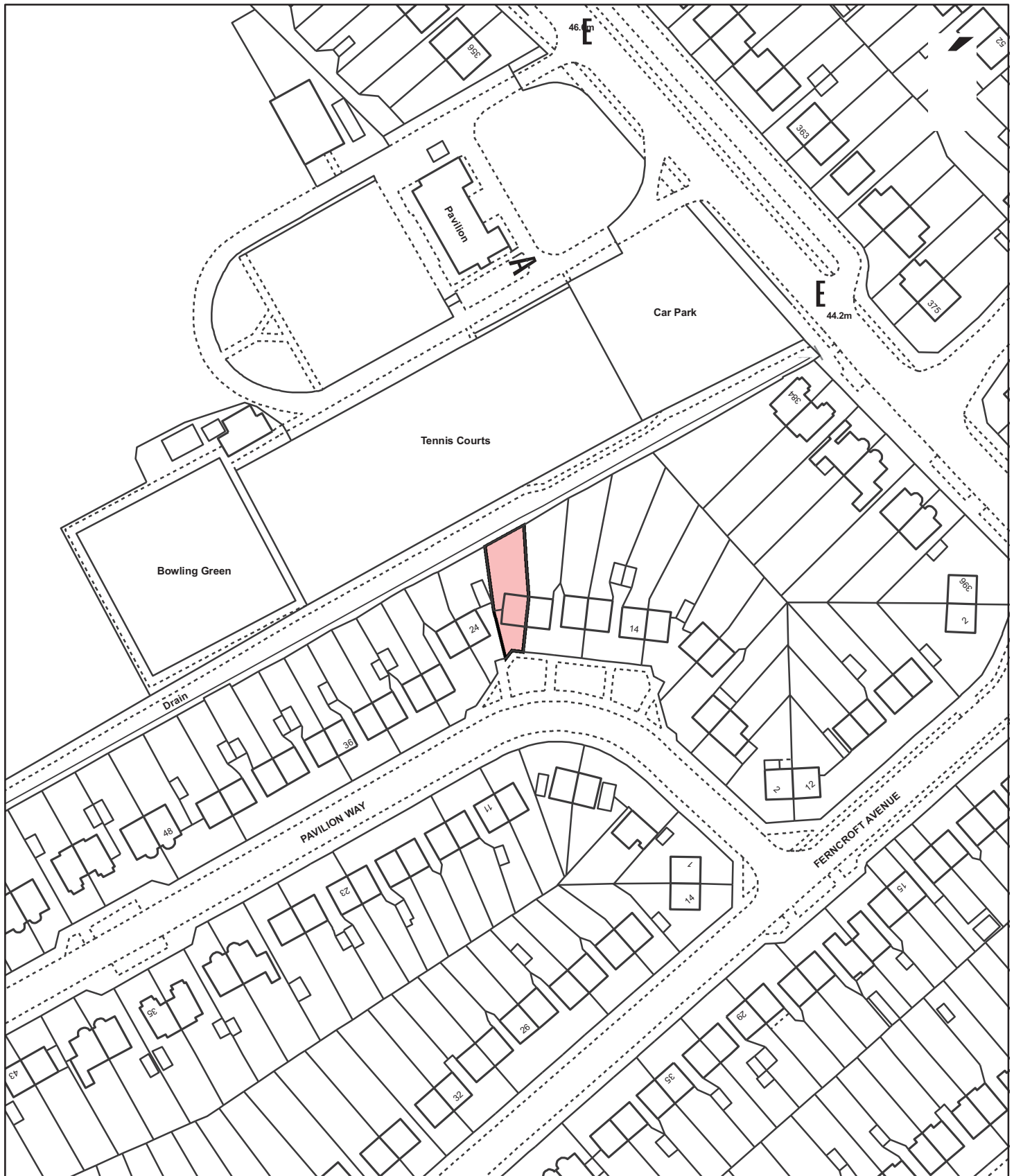
You are advised to consult the Council's Environmental Protection Unit, 3S/02,

Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Mark Smith

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**22 Pavilion Way,
Ruislip**

Planning Application Ref:
17423/APP/2011/57

Planning Committee
North Page 58

Scale
1:1,250

Date
May 2011

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address R/O 17-21 THE CLOSE EASTCOTE PINNER

Development: Erection of a two storey detached building with additional level in roofspace for use as Class B1 Office.

LBH Ref Nos: 11448/APP/2011/238

Drawing Nos: 2479/01 Rev. C
2479/02 Rev. A
2479/03 Rev. A
1:1250 Location Plan
Design & Access Statement

Date Plans Received: 02/02/2011 **Date(s) of Amendment(s):**

Date Application Valid: 02/02/2011

1. **SUMMARY**

Planning permission is sought for the erection of a two storey building with a second floor within the roof void. The proposed development is larger in size, scale and bulk, compared to the previous scheme approved on appeal and is considered to result in an overdominant and visually intrusive form of development and would result in overlooking and loss of privacy.

2. **RECOMMENDATION**

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposed development by reason of its overall size, height and siting in relation to 17-20 The Close, would result in an overdominant/visually obtrusive form of development which would harm the visual amenities of the occupiers of those properties, constituting a material loss of residential amenity. The proposal is therefore contrary to policies BE19 and BE21 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and paragraph 4.9 of the Hillingdon Design & Accessibility Statement: Residential Layouts.

2 NON2 **Non Standard reason for refusal**

The proposed rear facing rooflight would result in the actual and/or perceived overlooking of the rear gardens of 17-20 The Close causing an unacceptable loss of privacy to the occupiers of those properties. The proposal is therefore contrary to Policy BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
PPS1	Delivering Sustainable Development
PPS4	Planning for Sustainable Economic Growth

3. **CONSIDERATIONS**

3.1 **Site and Locality**

The application site comprises land to the rear of 17 to 21 The Close, Eastcote. The site area is approximately 350m² and fronts onto an access lane that runs along the rear of shops that front Field End Road. The access lane also provides access to two large public car parks, which are accessed from either Abbotsbury Gardens to the north and North View to the south. The site is located almost adjacent to the smaller of the two car parks.

The surrounding area contains a range of land uses, with the Eastcote Minor Town Centre, immediately to the west (including part of the access lane), a public car park to the north, which is also within the Eastcote Town Centre, and residential uses to the south (fronting North View), and to the east (fronting The Close). The Eastcote (Morford Way) Conservation Area boundary lies close to the western boundary of the site.

The application site lies within the developed area as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

3.2 **Proposed Scheme**

The original scheme granted on appeal, sought outline approval for the construction of a two-storey office building with all matters reserved. Whilst it was only the principle of the scheme that was considered at that time, an illustrative drawing was submitted with the application. The plan showed a two storey flat roof building measuring 6m deep, 12m wide

and 5.5m high and was sited 4.8m from the edge of the service road, 1.45m from the rear boundary, and 7.6m from either side boundaries. The building had a footprint of approximately 72 sq.m. Two parking spaces were proposed on the frontage and planting shown along the side and rear boundaries. The plan also showed a 1m wide footpath in front, spanning the entire width of the site (26m) to be use as a public walkway.

This current application seeks planning permission for a two storey gable end ridged roof building measuring 8m deep, 17m wide, 6.8m high at eaves level and 10.1m high at ridge level. The proposed building would be set 2.8m from the service road, 1.5m from the rear boundary, 2.8m from the north west side boundary, and 7.7m from the south eastern side boundary. The proposed building has a footprint of approximately 136 sq.m.

On the front elevation, facing the service road, the proposed building would comprise a centrally positioned front entrance, casement windows at ground and first floors, and 5no. rooflights in the front roofslope. On the rear elevation, obscured glazed high level windows are proposed on the ground and first floors, with rooflights in the rear roofslope. Planting is shown along the side and rear boundaries and a 1m wide footpath is also proposed which would run along the entire width of the site to form a footpath. A waste collection area is also proposed along the south east side of the building.

The proposal would provide class B1(a) office space.

3.3 Relevant Planning History

11448/APP/2008/3394 Land Rear Of 17-21 The Close Eastcote, Pinner

Two storey office building with associated parking accessed from service road (outline application).

Decision: 28-01-2009 Refused

Appeal: 11-11-2009 Allowed

Comment on Relevant Planning History

The above application was refused for the following reasons:

1. The proposal would introduce two storey built form on this side of the access road which would be out of keeping with the surrounding pattern of residential and commercial development. The proposal would therefore constitute an incongruous addition to the service road and its surroundings, detrimental to the visual amenities of the area, contrary to Policies BE13 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007).

2. The proposal would result in additional vehicle movement on the adjoining service road which given its intensity of use, restricted width and lack of pedestrian footpaths, already constitutes an inherent highways danger. The proposal would conflict with the use of the service road for service deliveries to the adjoining retail and commercial uses on Field End Road, conflicting with its safe and efficient operation. The proposal would therefore be prejudicial to highway and pedestrian safety, contrary to Policy AM7(ii) of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007).

An appeal was lodged and subsequently allowed in November 2009.

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
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AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
PPS1	Delivering Sustainable Development
PPS4	Planning for Sustainable Economic Growth

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- **9th March 2011**

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

29 adjoining owner/occupiers have been consulted and the application has been advertised as a development that affects the character and appearance of the adjoining Eastcote/Morford Way Conservation Area. 4 letters of objection and a petition with 33 signatories have been received, making the following comments:

- (i) The proposed building would be totally out of character with the existing buildings and surrounding area;
- (ii) The proposed building would obscure and harm the trees in the rear garden of 21A The Close;
- (iii) Overlooking onto the rear gardens resulting in a loss of privacy;
- (iv) The proposal would have a detrimental effect on the living conditions of nearby residents;
- (v) The service lane is not of a sufficient width for two way traffic;
- (vi) The footpath is not of an adequate size to cater for wheelchair users;
- (vii) The proposal would lead to anti-social behaviour;
- (viii) The proposal would represent an overbearing and dominant form of development which would block sunlight to the rear gardens of the properties in The Close;
- (ix) The application fails to provide details of the height of the building and its siting in relation to

adjoining properties; and
(x) There is no demand for office space in this location.

Internal Consultees

Environmental Protection Unit:

No objections subject to conditions relating to hours of use and deliveries.

Waste Management:

- a) The proposal is for an office unit. The occupiers would have to make an arrangement with either the Council or a licensed waste carrier for the collection of the waste produced from the premises;
- b) As the producers of waste from a commercial premises the occupiers have a Duty of Care to contain the waste safely until it is collected by the Council or a licensed waste carrier. They can best comply with this through the use of bulk bins or presenting sacks on the day of collection;
- c) The collectors should not have to cart a 1,100 litre bulk bin more than 10 metres from the point of storage to the collection vehicle (BS 5906 standard). Collectors should not have to carry refuse sacks more than 15 metres;
- d) The gradient of any path that the bulk bins have to be moved on should ideally be no more than 1:20, with a width of at least 2 metres. The surface should be smooth. If the storage area is raised above the area where the collection vehicle parks, then a dropped kerb is needed to safely move the bin to level of the collection vehicle.

Trees/Landscape:

As previously and with reference to the recent appeal decision, there is a need for landscaping to supplement the existing vegetation (off-site) and provide additional screening, and a setting for the building.

Given the Inspector's findings and decision, subject to conditions, the application is acceptable.

Highways:

Considering the submitted application, plans and appeal decision, there is no objection on the highway aspect of proposal subject to the following:

1. The use of the land for footway construction shall not be commenced until the limit, width, drainage and detailed construction of footway to be submitted and approved in writing by the LPA and shall be permanently maintained and available for pedestrian use at all times.
2. The applicant should enter into s38 agreement with the council for adoption of new footway
3. No development shall take place until details of facilities to be provided for the storage of refuse bins within the site have been submitted to and approved in writing by the Local Planning Authority. No part of the development shall be occupied until the facilities have been provided in accordance with the approved details and thereafter the facilities shall be permanently retained.
4. A tracking plan showing 10.0m waste collection vehicles entering and exiting the site in a forward gear.

Access:

Plans submitted would suggest that this building and its facilities would be inaccessible to disabled people using wheelchairs. The Equality Act 2010 seeks to protect people accessing goods, facilities and services from direct discrimination on the basis of a 'protected characteristic', which includes those with a disability.

The following observations are provided:

1. It is unclear whether level access will be provided into the proposed new office block, which would be required to meet both planning and building control requirements.
2. The accessible toilet shown on plan is too small to comply with Approved Document M to the Buildings Regulations 2004. The internal dimensions of the cubicle should be no less than 1500mm wide by 2200mm deep.
3. The accessible toilet should be signed either "Accessible WC" or "Unisex". Alternatively, the use of the "wheelchair" symbol and the words "Ladies" and "Gentlemen" or "Unisex" would be acceptable.
4. Multi-storey buildings should have at least one lift that is sufficient size to be accessible by wheelchair users and people with mobility difficulties. The lift shown on plan does not provide the required 1100mm wide and 1400mm deep dimensions and is therefore unsuitable. In addition, an unobstructed maneuvering space of 1500 x 1500mm should be provided in front of the lift. The space shown is below the minimum requirements.
5. The location of an accessible lift should be provided in a location that is clearly visible from the building entrance. Lifts should serve all floors.
6. A refuge area does not appear to be shown on plan. Advice from an appropriate fire safety officer or agency should be sought at an early stage to ensure that adequate and appropriate refuge areas are incorporated into the scheme as a whole. Refuge areas provided should be sized and arranged to facilitate maneuverability by wheelchair users (Refer to BS 9999: 2008). Refuge areas must be adequately signed and accessible communication points should also be provided in the refuge area.
7. Consideration should be given to ensure that arrangements exist to provide adequate means of escape for all, including wheelchair users. Fire exits should incorporate a suitably level threshold and should open onto a suitably level area.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

In determining the appeal, the Inspector states at paragraph 4:

"Planning Policy Statement 1: Delivering sustainable development, at paragraph 32, promotes a more efficient use of land and the focusing of new office development in sustainable locations such as existing centres. The appeal site is unused land, adjacent to Eastcote centre and close to a public transport interchange. Although there is no development, other than car parks, fronting the north-eastern side of the access lane, I am not persuaded that in the above circumstances, development should be precluded in principle."

Given the Inspector's decision to grant outline planning permission, the principle of the development has been established.

7.07 Impact on the character & appearance of the area

The immediate surrounding area is somewhat mixed. To the east of the application site lies the residential properties in The Close. To the north lies a public car park and to the west, on the opposite side of the access lane, lies single and two storey buildings, and two storey extensions, many of which serve the commercial premises fronting Field End Road.

In determining the appeal against the outline scheme, the Inspector states at paragraph 4 that "the site does not relate to the residential properties to the east, which in any event could be screened from the appeal proposal by vegetation. The building would be seen in the context of the commercial built development to the immediate west of the access lane, to which an appropriately designed building could relate satisfactorily."

Given the above comments, the proposed building, in terms of its design and appearance,

is not considered to appear out of keeping with the mixed character of the area. It is considered that the proposed development would relate satisfactorily with the commercial built development on the opposite side of the access lane. In particular, there is no uniform appearance to the existing commercial buildings, and as such, the proposal, with its brick elevations and plain tile roof, is not considered to detract from the commercial character of the immediate area. The overall height of the new building, in townscape terms, is comparable to the commercial buildings and extensions to the properties fronting Field End Road.

Overall, it is considered that the proposed office building would not have a detrimental impact on the character and appearance of the immediate surrounding area, or the nearby Eastcote/Morford Conservation Area, in accordance with policies BE4, BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.08 Impact on neighbours

The Supplementary Planning Document HDAS: Residential Layouts requires minimum distances of 15m and 21m for a two-storey structure from the rear wall of a residential property in order to prevent over domination and overlooking, respectively and whilst the proposal does not relate to a residential development, the SPD does provide a reasonable guide as to the distances between windows and between buildings which should be achieved as a minimum.

The proposed office building would be sited some 22.5m from the rear wall of the nearest residential property on The Close. The size of the footprint of the proposed building has increased, in comparison to the appeal scheme, from 12m to 17m, an increase of some 42% and its height has increased from 5.5m to 10m, an increase of some 55%. The size, scale, bulk and height of the building as proposed is considered to have an adverse impact on the residents to the rear, especially given that it is set only 1.5m from the boundary and there is little scope for substantial planting within this space. It is therefore considered that the proposed development would have an overbearing and dominant impact when viewed from the rear windows on 17-20 The Close, resulting in a visually intrusive and overdominant form of development, contrary to policies BE19 and BE21 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and paragraph 4.12 of the Hillingdon Design & Accessibility Statement: Residential Layouts.

The proposed building would be over 21m from the rear first and second floor windows of the residential properties above the commercial units facing Field End Road. There are no residential properties to the north and south of the application site. To the rear, the proposed building has been designed with high level windows at ground and first floor levels, however, the top floor rooflights are only 1.2m above floor level and will allow overlooking into the rear gardens of the residential properties to the rear, resulting in an unacceptable loss of privacy, contrary to policy BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007) and paragraph 4.9 of the Hillingdon Design & Accessibility Statement: Residential Layouts. The proposed block would result in an increase in overshadowing onto the rear gardens of the residential properties in The Close, however this increase will not be so significant and will not extend onto the houses themselves.

It is therefore considered that the proposal would represent an overbearing and overdominant form of development and would result in a loss of privacy, contrary to the aforementioned policies.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The proposed development does not contain off-street parking. However, the application site has good access to public transport in Field End Road and it is within easy walking distances to the Metropolitan and Piccadilly lines. There are on street parking restrictions, including residents only parking areas. In town centre locations, PPS4 recommends that development with limited parking should be permitted in areas of good accessibility, and where effective on street parking control is present or can be secured.

The previous application had conditionally been granted under appeal. The Inspector's view in the appeal was that "the provision of car parking in a highly sustainable location, such as Eastcote centre, should not be mandatory". He further states that "Traffic likely to be generated to service a small office building would not have a material impact upon volumes of traffic using the access way".

There are two public car parks (Devon Parade with 45 parking spaces and Devonshire Lodge having 203 parking spaces), located either side of the proposed building, both accessed from a service road of approximately 5.5m wide, with no footway or other means of pedestrian facility. The Inspector agreed and recommended the construction of a footway linking the two car parks which would also provide safe pedestrian movement. The proposal includes the construction of a 1.0m wide footpath from the northern edge of Devon Parade car park connecting it to the existing footpath south of Devonshire Lodge car park and this is considered to be a positive improvement on highway and pedestrian safety.

The two nearby public car parks are sufficient to cater for the parking needs of the occupiers of the proposed building. The existing access way is of a sufficient width to provide safe vehicular access to and from the proposed building.

Given the above, it is considered that the proposal would not result in a significant increase in traffic movement and would not prejudice highway and pedestrian safety, in accordance with policies AM2, AM7 and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.11 Urban design, access and security

Urban design and access are addressed above. With regards to security, there is no evidence to suggest that the proposal would lead to an increase in anti-social behaviour.

7.12 Disabled access

The application has been amended to take account of the comments raised by the access officer. In particular, the proposed lift is of a sufficient size to cater for wheelchair users and a fully glazed panel in front of the lift is proposed to ensure that the lift is visible at a point entry into the building. An accessible refuse area has been provided; details of which can be secured by way of a suitable condition.

7.14 Trees, Landscaping and Ecology

There are no trees of merit on this site, but some of the trees in the rear gardens of the houses in The Close are located near to the northern boundary of the site. Given the proposed use, these trees are not an issue in this case. The scheme (with no parking) reserves space for landscaping and additional planting to the side and along the frontage. However, it is considered that the space to the rear of the building will not be sufficient to allow the substantial planting required to minimise the effect of the proposal when viewed from the residential properties in the Close. Thus whilst it is considered that a refusal on landscape grounds is not justified the impact of the proposal on residential amenity is covered above.

Overall, subject to trees and landscaping conditions, the proposal would accord with policy

BE38 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.15 Sustainable waste management

The application has been amended to show an area along the south side of the building for refuse storage/collection.

The guidance and recommendations on good practice stipulates that waste bags should not be carried for a maximum distance of 30m from allocated waste bins, whereas refuse collection vehicles should be able to get to within 25m of the storage point. The proposed waste storage area would be some 3m from the access way and as such, would meet these standards.

7.19 Comments on Public Consultations

With regards to the third party comments, points (i) to (viii) have been addressed in the report. On point (ix), the submitted plans are to scale and on point (x), the application site lies within a commercial area and the applicant considers that there is demand for the proposed use.

7.22 Other Issues

There are no other relevant issues.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

10. CONCLUSION

For the reasons outlined above and that the proposed development fails to comply with the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved

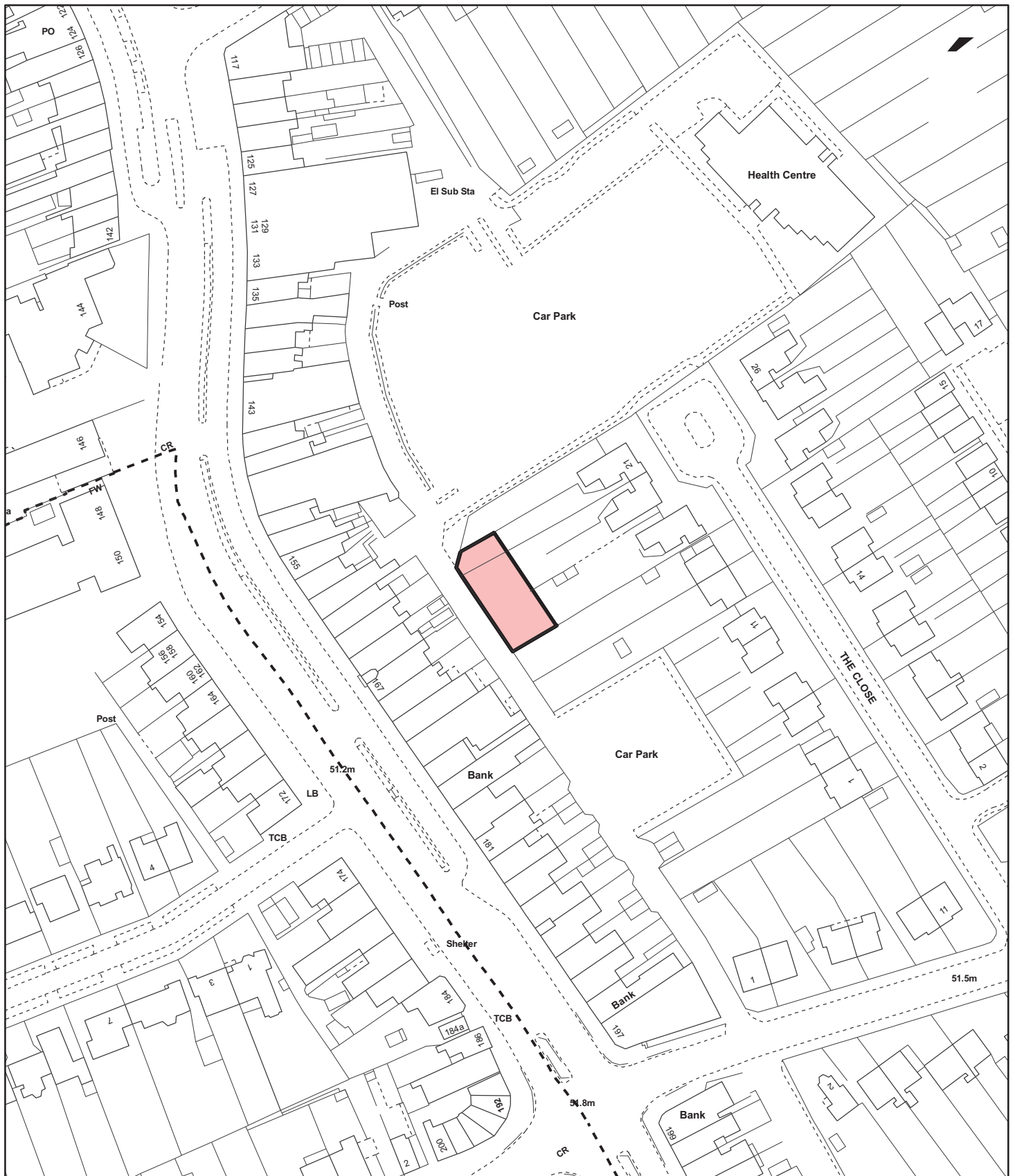
Policies September 2007) and Hillingdon Design & Accessibility Statement: Residential Layouts, this application is recommended for refusal.

11. Reference Documents

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).
Hillingdon Design & Accessibility Statement: Residential Layouts
PPS1
PPS4

Contact Officer: Sonia Bowen

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**Land rear of 17 - 21 The Close,
Eastcote**

Planning Application Ref:

11448/APP/2011/238

Planning Committee

North Page 69

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



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LONDON

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Report of the Head of Planning & Enforcement Services

Address EASTCOTE LAWN TENNIS CLUB KADUNA CLOSE EASTCOTE PINNER

Development: Porch to front, installation of decking and fencing to side/front, installation of ramp to front and alterations to side of existing club house.

LBH Ref Nos: 52580/APP/2011/1462

Drawing Nos: Design & Access Statement
01A
PL/03/REFURB 3A
PL/04/REFURB 3A
PL/05/REFURB 3A
Flood Risk Assessment
PL/01/REFURB 3B
Neris Panel Fencing details
PL/02/REFURB 3B

Date Plans Received:	14/06/2011	Date(s) of Amendment(s):	15/06/2011
Date Application Valid:	22/06/2011		22/06/2011
			27/07/2011

1. SUMMARY

Planning permission is sought for the erection of a brick built porch extension to the front of the club house, together with the installation of decking to the front and side of the building, to be partly enclosed by a 1.5m to 1.8m high fence and new soft landscaping.

The proposed development is acceptable in design and amenity terms and would not result in any significant increase in activity on the site that would be detrimental to the amenities of surrounding properties.

2. RECOMMENDATION

APPROVAL subject to the following:

1 T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 M2 External surfaces to match existing building

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 TL6 Landscaping Scheme - implementation

All hard and soft landscaping shall be carried out in accordance with the details submitted and any planting shall be completed within the first planting and seeding seasons following the completion of the development. The new planting and landscape operations should comply with the requirements specified in BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' and in BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. Thereafter, the areas of soft landscaping shall be permanently retained.

Any tree, shrub or area of turfing or seeding shown on the approved landscaping scheme which within a period of 5 years from the completion of development dies, is removed or in the opinion of the Local Planning Authority becomes seriously damaged or diseased shall be replaced in the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority in the next planting season with another such tree, shrub or area of turfing or seeding of similar size and species unless the Local Planning Authority first gives written consent to any variation.

REASON

To ensure that the landscaped areas are laid out and retained in accordance with the approved plans in order to preserve and enhance the visual amenities of the locality in compliance with policy BE38 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2011) and national guidance.

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
OE1	Protection of the character and amenities of surrounding properties and the local area
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity Consideration of traffic generated by proposed developments.

AM7
AM14

New development and car parking standards.

3. CONSIDERATIONS

3.1 Site and Locality

This application relates to the Eastcote tennis clubhouse building located on the south east side of Kaduna Close at the end of the cul de sac. The club house is a detached building located to the north west of the Imada Health Club building, near to the access with Kaduna Close.

To the north east lies the tennis courts, with a residential block to the north and a pair of semi-detached houses to the north west, both fronting Kaduna Close. To the east lie parking spaces for club patrons.

The surrounding area is residential in character and appearance and the application site lies within the Eastcote Village Conservation Area, as identified in the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007). The site is also subject to Tree Preservation Order Nos 20 and 278.

3.2 Proposed Scheme

Planning permission is sought for the erection of a small porch to the front of the existing entrance to the club on the north-western elevation (facing towards the Close). The porch would be 900mm deep and 1.8m wide with a tiled hipped roof rising from 1.8m at eaves level up to 2.4m ridge height. Side elevations would be of brick construction to match the rest of the building, with the front elevation comprising a white upvc pair of doors with space above for the tennis club logo.

The application also seeks permission for the installation of decking to the front and side of the building, largely on the existing patio but also extending to the front of the building on the existing grassed area adjacent to the proposed new porch. The decking would be marginally above the existing patio and grass levels and would be enclosed by a 1.5m to 1.8m high fence adjacent to the front boundary. The plans have been amended from that originally proposed to enable the fencing to be set in from the boundary by 1m to allow some soft landscaping in front of it, fronting the road.

3.3 Relevant Planning History

52580/APP/2005/2648 Eastcote Lawn Tennis Club 12 Kaduna Close Eastcote Middlesex
INSTALLATION OF 24, 6.7 METRE HIGH FLOODLIGHTS TO COURT 3,4, 5 & 6.

Decision: 11-11-2005 Refused

52580/APP/2006/412 Eastcote Lawn Tennis Club Kaduna Close Eastcote Pinner
INSTALLATION OF 9 x 6.7 METRE HIGH FLOODLIGHTING COLUMNS ON COURTS 4 AND 5.

Decision: 19-07-2006 Approved

52580/APP/2008/1302 Eastcote Lawn Tennis Club Kaduna Close Eastcote Pinner
DETAILS IN COMPLIANCE WITH CONDITION 2 (LANTERN COWLINGS) OF PLANNING
PERMISSION REF.52580/APP/2006/412 DATED 19/07/2006: INSTALLATION OF 9 x 6.7
METRE HIGH FLOODLIGHTING COLUMNS ON COURTS 4 AND 5).

Decision: 02-09-2008 Approved

52580/APP/2010/2663 Eastcote Lawn Tennis Club 12 Kaduna Close Eastcote
Erection of a single storey front/side extension with decking to side and new terrace area above,
involving alterations to existing elevations and external staircase to side.

Decision: 08-02-2011 Refused

Comment on Relevant Planning History

There is an extensive planning history relating to this site and the adjoining business premises, although none is considered particularly relevant to this application.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE4	New development within or on the fringes of conservation areas
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
OE1	Protection of the character and amenities of surrounding properties and the local area
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- 27th July 2011

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

28 adjoining owner/occupiers and the Eastcote Residents Association have been consulted. The application has also been advertised as a development that affects the character and appearance of the Eastcote Village Conservation Area.

In response 1 letter of objection has been received. Objections are raised in relation to the club's intention to increase membership and have functions which will put more demand on parking in the area, the development fails to provide an assessment of existing and proposed parking demand, the identified parking spaces shown on the plans are incorrect and not under the applicants ownership, increased parking over the years has caused problems, previous applications by the objector have been refused on parking grounds and so the same rules should be applied in this instance, the fence would obscure the adjoining business from view, and there would be noise and nuisance arising from the use of the decking.

A petition with 24 signatories has also been submitted objecting to the application on the grounds of intensification of use, increased parking, noise pollution and loss of privacy.

Thames Water make comment on water and sewerage drainage but have no objections.

Internal Consultees

URBAN DESIGN AND CONSERVATION OFFICER:

There are no objections to the proposed front porch as this would be in keeping with the appearance of the building.

The proposed fence around the decking, however, may be considered to be intrusive given its height at 1.5m. There is no indication in the drawings or the application of the material of the fence. From a design point of view, it is felt that the fence should be discrete in appearance, preferably wooden fencing in a clear stain colour.

OFFICER COMMENT: Further clarification on the fencing details has now been sought and the plans amended to include an element of vegetation to the front boundary.

TREES AND LANDSCAPE OFFICER:

The proposal is acceptable.

HIGHWAY ENGINEER:

The proposal does not result in an intensification of use nor does it result in any changes to the existing parking arrangement. On this basis no objection is raised.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

The principle of alterations to the existing building are considered appropriate, subject to all other material planning considerations being acceptable.

7.02 Density of the proposed development

Not applicable to this development.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is within the Eastcote Village Conservation Area, although it is considered that the proposal would cause no harm in this respect and that it would preserve and enhance the character of the Conservation Area.

7.04 Airport safeguarding

Not applicable to this development.

7.05 Impact on the green belt

Not applicable to this site.

7.06 Environmental Impact

There would be no adverse environmental impact arising from this small development.

7.07 Impact on the character & appearance of the area

The porch is small in size and appropriate to the scale and form of the building. It would assist in clearly defining the main entrance to the property and would not detract from the character of the building or the streetscene and would preserve the character of the Conservation Area.

Similarly the proposed decking and fencing is of a scale, design and uses materials which is common in the area and used to enclose the amenity spaces of adjoining residential properties and is considered acceptable. The development would thus be in accordance with policies BE4, BE13 and BE15 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

7.08 Impact on neighbours

The nearest residential property to the proposed extension is a residential block located to the north fronting Kaduna Close, some 18m from the site. Given the intervening vegetation and the existence of the existing patio it is not considered that there would be any overlooking concerns arising from the proposed decking. The decking is mainly within the existing patio and grassed area that is already used by club members and as such is unlikely to lead to an intensification of use or result in an increase in noise and disturbance over and above the existing.

The porch would have no impact on the amenities of the adjoining occupiers.

7.09 Living conditions for future occupiers

Not applicable to this development.

7.10 Traffic impact, car/cycle parking, pedestrian safety

The proposed alterations to the existing clubhouse building would not directly lead to any increase in traffic generation given its proposed use and location. As such, the proposal would comply with policy AM2 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

Whilst concerns have been raised by the adjoining occupier regarding the allocation of parking spaces for the club, the proposal will not affect, alter or impact on the existing arrangements. As such, the proposal would not result an intensification of the use resulting in the need for additional parking, in accordance with policies AM7 and AM14 of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007).

The objectors concerns in respect of parking would appear to relate to lease and ownership arrangements between the applicant and the objector. This would be a civil

matter that would need to be addressed separately, and is outside the scope of this current planning application.

7.11 Urban design, access and security

This is addressed elsewhere in this report.

7.12 Disabled access

The new porch and decking would result in improved access for those with disabilities.

7.13 Provision of affordable & special needs housing

Not applicable to this development

7.14 Trees, Landscaping and Ecology

No existing vegetation of any note would be adversely affected by the proposals and the new vegetation to the front of the property would enhance the streetscene.

7.15 Sustainable waste management

Not applicable to this development.

7.16 Renewable energy / Sustainability

Not applicable to this development.

7.17 Flooding or Drainage Issues

Neither the decking nor the porch would give rise to any flooding or drainage concerns.

7.18 Noise or Air Quality Issues

Not applicable to this development.

7.19 Comments on Public Consultations

As detailed elsewhere in this report.

7.20 Planning Obligations

Not applicable to this development.

7.21 Expediency of enforcement action

Not applicable to this development.

7.22 Other Issues

There are none.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which

means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this development.

10. CONCLUSION

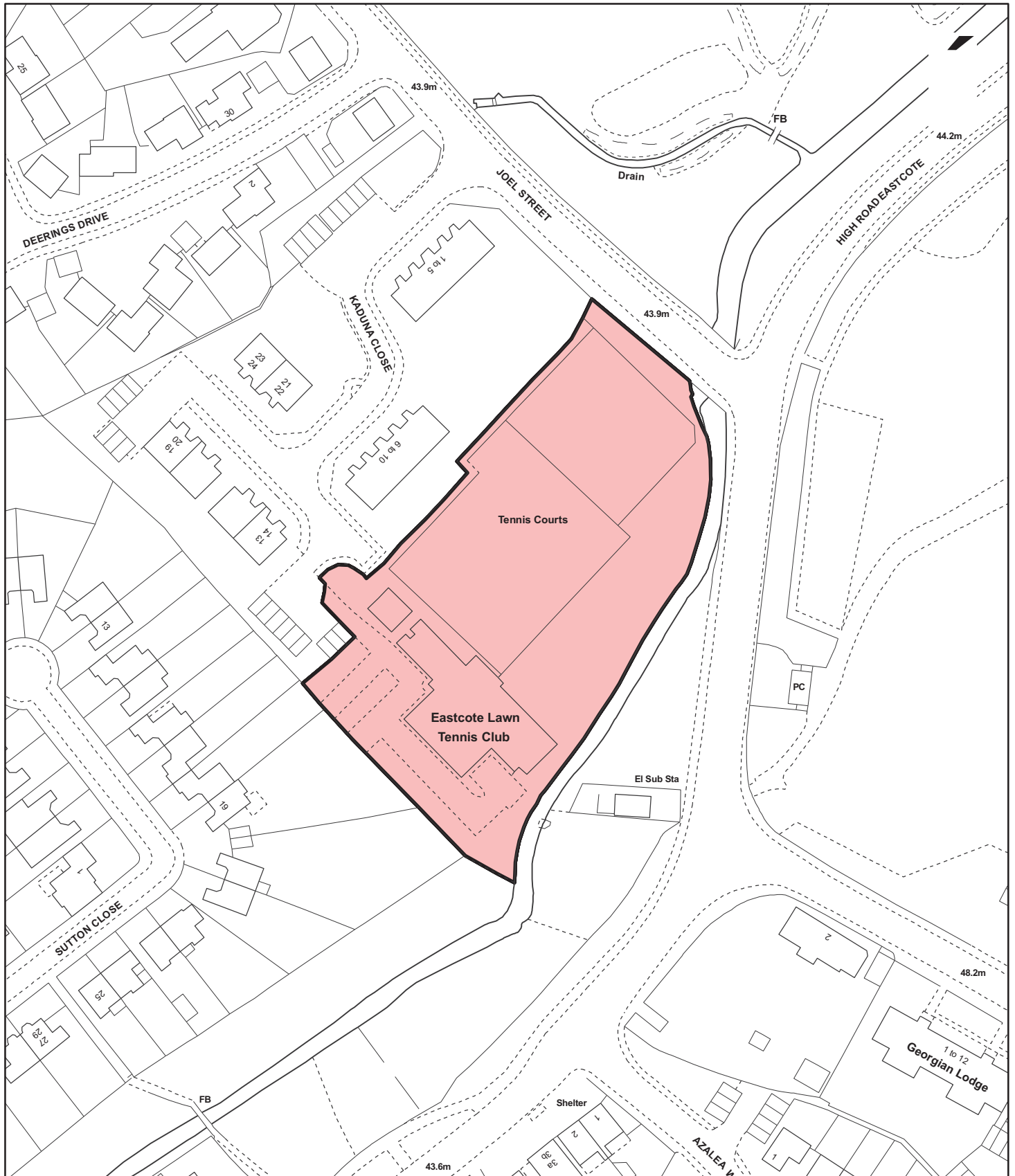
The development in terms of its appearance and impact on adjoining occupiers is considered acceptable and is therefore recommended for approval.

11. Reference Documents

Adopted Hillingdon Unitary Development Plan (Saved Policies September 2007)
Consultation Replies

Contact Officer: Warren Pierson

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**Eastcote Lawn Tennis Club,
 Kaduna Close, Eastcote**

Planning Application Ref:

52580/APP/2011/1462

Planning Committee

North Page 79

Scale

1:1,250

Date

**September
 2011**

**LONDON BOROUGH
 OF HILLINGDON**
 Planning,
 Environment, Education
 & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



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Report of the Head of Planning & Enforcement Services

Address 41 RAISINS HILL PINNER

Development: Part two storey, part single storey side/rear extension, single storey front extension and conversion of existing integral garage and store into habitable space involving the installation of 2 rear rooflight and 1 front rooflight.

LBH Ref Nos: 64909/APP/2011/1165

Drawing Nos: 10034A/P/01.01 Rev. C

Date Plans Received: 13/05/2011 **Date(s) of Amendment(s):** 16/08/2011

Date Application Valid: 13/05/2011

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located on the west side of Raisins Hill and comprises a two storey semi-detached dwelling with a fully hipped roof and bay window detail to both the front and rear elevations. An original attached garage with store room behind is located on the north west elevation. The garage is set 0.6m from the boundary with the adjacent property no.43 and flush with the front elevation of the main house. The house is set back 8m from the road with a 5m wide front driveway and lawned area with hedge separating the site from the adjoining semi (No.39). A 22m garden runs to the rear. The adjoining property, No.39, has recently carried out a hip to gable loft conversion with rear dormer, under permitted development, and is currently completing a single storey side, front and rear extension approved in September 2010. The street scene is residential in character and appearance and the application site lies within the Developed Area, as identified in the Adopted Hillingdon Unitary Development Plan Saved Policies (September 2007).

1.2 Proposed Scheme

Planning permission is sought to demolish the existing garage and store to the side and construct a two storey side extension and a part two storey/part single storey rear extension.

To the rear, the proposed single storey extension would measure 3.6m deep with a 3m high flat roof. The two storey element would commence 3.1m from the boundary with the adjoining property (No.39) and measure 2.6m deep. The two storey extension would measure 4.9m wide projecting out from the side elevation by 1.5m, stopping 1m away from the boundary with No.43 and wrapping around the side elevation stopping 1m short of the front elevation of the house. To the side of the house, the roof of the proposed two storey extension would be at 0.5m below the ridge.

A single storey extension, to the porch is proposed to the front with a small pitched and tiled roof over, measuring 2.25m wide, 0.45m deep and a maximum height of 3.3m. 2 no. parking spaces are identified on the existing front driveway.

1.3 Relevant Planning History

64909/APP/2010/2668 41 Raisins Hill Eastcote Middlesex

Part two storey, part single storey side extension, part two storey, part single storey rear extension with 1 rooflight, single storey front extension and conversion of roofspace to habitable use with 1 front and 1 rear rooflight, involving demolition of existing integral garage and store.

Decision Date: 15-03-2011 Refused **Appeal:** 15-AUG-11 Dismissed

Comment on Planning History

A previous application for a similar proposal was refused for the following reason:

The proposed two storey side extension, by virtue of its siting, size, scale and design including the lack of a set back from the front and lack of a set down of the ridge from the main ridge of the roof would fail to appear as a subordinate addition and would thus be detrimental to the appearance of the original house, the visual amenities of the street scene and the character and appearance of the wider area. The proposal would therefore be contrary to policies BE13, BE15 and BE19 of the Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Documents HDAS Residential Extensions.

An appeal against this refusal was dismissed by letter dated the 15th August 2011.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

24 neighbouring properties and the Northwood Hills Residents Association have been consulted. 16 individual letters and a petition with 46 signatories have been received objecting to the proposal on the following grounds:

1. similar to refused scheme;
2. overdevelopment of plot;
3. out of character and would destroy original charm of Raisins Hill;
4. reducing natural light, aspect and ambience for neighbours;
5. house with 6 beds disguised as 3 beds;
6. set dangerous precedent for street, both in terms of loss of side gap and the two storey rear extension;
7. additional pressure on utilities, especially drainage and parking;
8. concern over possible conversion to HMO;
9. concern over possible conversion to flats;
10. restrictive covenants on land seek development to not interfere with light and air of neighbouring properties.

Officer Comments: The issues raised are considered in the main body of the report.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM14	New development and car parking standards.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction. - Replaced by LPP 5.3 (2011) Sustainable design and construction
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

5. MAIN PLANNING ISSUES

The main planning issues in respect of this application are considered to be the design of the proposed development, its impact upon residential amenity and the provision of adequate parking at the site.

Visual Amenity

Policy BE13 of the Hillingdon Unitary Development Plan (UDP) (Saved Policies September 2007) requires that the layout and appearance of new development must harmonise with the existing street scene whilst policy BE15 requires extensions to be in-keeping with the scale, form and architectural composition of the building. Policy BE19 seeks to ensure new development complements or improves the amenity and character of the area. Policy BE22 requires two storey extensions to be set back a minimum of 1m from the side boundary. Guidance is also found within the London Borough of Hillingdon Supplementary Planning Document (SPD) HDAS: Residential Extensions.

For two storey side extensions to be acceptable, the SPD requires such extensions for semi-detached properties to be set in from the boundary with neighbouring properties by at least 1m, and have a roof set beneath the main ridge by at least 0.5m to ensure a subordinate appearance. The current scheme complies with this requirement.

Section 5.6 of the SPD requires a 1m set back from the front of the property.

In her assessment of the previous scheme, the Inspector, on the issue of design, appearance and the impact of the proposal on the character of the property and the street scene commented as follows:

"5. The Hillingdon Design and Access Statement (HDAS) normally requires that 2-storey side extensions to semi-detached properties are set in from the side boundary by at least one metre. It also requires that the ground and first floor of the extension should be set back one metre from the front the main building line to ensure a subordinate appearance, and that the roof height should be at least 0.5 metres below the height of the main roof. The design should follow that of the existing roof: an existing hipped roof, as in this instance, should be extended with a subordinate hipped roof.

6. Although the proposed extension would be set in from the side boundary by one metre as required by the HDAS, the roof would not be set down and the extension would not be set back from the front wall. The roof of the other house in the pair, no.39, has recently been altered with a hip to gable

extension. Officers recommended (though Members disagreed) that a relaxation of the normal setback/down requirements at the appeal property could be accepted so as to maintain some of the architectural composition of the pair. I have some sympathy for this approach in design terms. However, the proposal must also be seen in relation to no.43. It seems to me that, by waiving the normal design requirements for making the side extension subordinate to the main dwelling in this case, the gap between nos.41 and 43, already narrower than between some of the other pairs of houses in the street, would be considerably lessened to the detriment of the open and spacious character of the street scene.

7. This would be exacerbated by the fact that, at ground floor level, the single storey front extension would project some way beyond the bay window, significantly in front of the main building line in this part of Raisins Hill. This would be a prominent, uncharacteristic feature which, in my view, would sit uncomfortably alongside the 2-storey bay window and which would further detract from the street scene.

8. I therefore conclude that the proposed extension would be detrimental to the appearance of the dwelling and to the character and appearance of the area. It would not accord with the provisions of the HDAS or with saved policies BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan 1998 which require extensions to harmonise with the scale, form, architectural composition and proportions of the original building and the street scene, and seek to ensure that new development complements or improves the amenity and character of the area."

Amended plans indicate that the whole of the side extension would now be set back 1m from the main front wall of the property, in compliance with the SPD.

In the case of two storey rear extensions the SPD states that the depth must not exceed 3.6m, that the first floor must comply with 45 degree rule and that the roof height should not exceed the height of the main roof. The proposed scheme complies with these requirements as the rear extension would be 2.6m deep; the 45 degree rule would not be breached by either of the windows to the adjoining and adjacent properties; the ridge height is 0.5m lower than the original roof. The previous decision did not raise issue with overbearing effect of the proposed rear extension on neighbouring properties and the amended plans show a rear extension of the same 2.6m projection, within the permitted 3.6m of the SPG.

The adjoining neighbour attached to the application property, has carried out a hip to gable roof conversion under permitted development, that has already unbalanced the symmetry of the pair of houses. The proposed extension, with the removal of the single storey front extensions would be a simple addition to this half of the pair of semi's, not overcomplicating this frontage. The design is therefore considered acceptable.

To the rear, the two storey extension at 2.6m deep with a lowered and fully hipped roof is considered to respect the architectural form of both the original house and the surrounding area.

The flat roof single storey rear extension is of a simple design that meets the size and height requirements of the SPD. The front extension although slightly forward of the existing bay window is reminiscent of a porch/garage conversion extension and also echoes the extension and canopy approved on the adjoining property.

On balance therefore, the work carried out to the adjoining semi-detached property means that a traditional design response for a pair of semi-detached properties would not retain the symmetry. In all other respects the proposed extension follows the recommended HDAS guidance for extensions regarding size and scale and thus is considered not to be an overdevelopment of the site. The use of matching materials is also proposed and this would ensure further harmony with the existing street scene. For these reasons it is considered that the proposal meets the requirements of the SPD and policies BE13, BE15 and BE19 of the UDP (Saved Policies September 2007).

Residential Amenity

Policy BE20 of the UDP seeks to ensure that adequate daylight and sunlight can penetrate into and between buildings and that amenities are safeguarded whilst policy BE21 of the UDP precludes development that would result in a significant loss of amenity due to a proposal's siting, bulk and proximity. Policy BE22 continues that extensions should be a minimum of 1m from the side boundary.

On the issue of residential amenity, the Inspector commented as follows:

"9. Neighbouring residents are concerned about loss of light and outlook as a result of the rear extensions, though I note that this was not a reason for refusal of the application. The HDAS indicates that, where proposed side extensions would project beyond the main rear wall of the house, that portion should be assessed according to the guidance for 2-storey rear extensions. The projection of the extension should not be beyond a 45° line of sight from the nearest first floor window of any room of the neighbouring properties and, for a semi-detached house on a plot more than five metres wide, be a maximum of 3.6 metres in depth.

10. The Council estimates the 2-storey element of the extension to the rear to be 2.6 metres in depth and the drawings show that it would be within a 45 degree line from the nearest corners of the adjoining houses, the windows of which are set even further away. Thus this aspect of the scheme, which would also have a lower roof than the main house, would accord with the HDAS. Similarly, single storey rear extension would be 3.6 metres deep, again complying with the HDAS.

11. In my experience guidelines such as those in the HDAS aim to achieve a balance between the desire of people to extend their houses and the impact on the adjoining neighbours. While, because of the orientation of the houses, there would be some additional overshadowing of no.43 for part of the day, the evidence suggests that the loss of light and outlook for the occupiers as a result of the rear extensions proposed would not be such that the appeal should fail in this regard.

12. With regard to privacy, overlooking of adjoining properties would be little different from the current situation, and there is adequate separation between this house and those to the front and rear to meet with the Council's normal standards even if it were to be extended as proposed. The side windows, which would serve bathrooms, could be

required to be obscure glazed and high level or non-opening to maintain privacy for the adjoining neighbours."

With regard to the adjoining property at No.39, the proposed single storey rear extension would be directly alongside the conservatory recently permitted that would measure the same depth. The two storey extension, set 3.1m from the boundary with No.39 would not affect the 45 degree line taken from the nearest habitable room rear window.

With regard to adjacent property at No.43, the submitted drawings clearly show that the proposed two storey extension would also not break a 45 degree line taken from the nearest window at first floor whilst the side window in No.43 serves a landing/stairwell. The proposal is therefore considered to not impact unduly on the adjoining properties in terms of loss of light and overshadowing. The proposed two storey element is located 1m from the boundary with No.43, as per policy BE22, with No. 43's attached garage alongside the front half of the side extension. Thus, whilst there would be some impact upon the residents of No.43, it was considered on the previous application not to be of such significance as to warrant a refusal of planning permission.

Given the above, it is considered that there would be no significant loss of amenity as a result of the proposal in accordance with policies BE20, BE21 and BE22 of the Hillingdon UDP, saved policies, September 2007.

With regard to privacy, the two windows proposed within the side elevations of the proposed two storey element are to serve bathrooms and are shown as high level opening with obscure glazing. To ensure this is retained, it is recommended that a condition be imposed to retain the side windows as obscure-glazed as well as a further condition restricting the insertion of further openings.

A distance of 22m separates the front of the proposed extension with the house directly opposite (a bathroom window is proposed at first floor) exceeding the SPD requirement of 21m. The rear garden also provides sufficient distance to the properties to the rear. The proposal would consequently accord with Policy BE24 of the UDP (Saved Policies September 2007) and with the SPD.

Over 100sqm of private amenity space would be retained in compliance with paragraph 5.13 of the SPD and policy BE23 of the UDP (Saved Policies September 2007).

Car Parking

Policy AM14 of the UDP (Saved Policies September 2007) requires new development to accord with the Council's adopted car parking standards. For a 2 plus bedroom house, the standards require 2 car parking spaces be provided. A plan indicating that two spaces can be provided on the existing driveway has been submitted. The application therefore meets the Council's adopted standard parking standards and is in accordance with policy AM14 of the UDP (Saved Policies September 2007). The requirement for two spaces was supported by the Inspector who commented as follows:

"13. Local residents have expressed considerable concern that the increase in the number of bedrooms and loss of the garage would lead to additional parking pressures in the area. At the time of my site visit I saw that, although there was quite heavy on-street parking in Chamberlain Way, there was little on-street parking in this part of Raisins Hill. It may be different at other times of the day, but there is no substantiated evidence before

me to show that the level of on-street parking is such that there is no spare capacity. In any event the drawings show that 2 cars could be accommodated at the front of the house. This meets the Council's adopted standards for dwellings of 2+bedrooms and includes retention of some of the front garden area."

Other Issues

In the main the issues raised by the residents have been covered above. However, on the issues relating to water and sewage services and precedent, the Inspector commented as follows:

"14. There is also no evidence before me to suggest that the water and sewage services would not be able to cater for the extended dwelling.

15. Objections from residents have also referred to the fact that allowing such an increase in accommodation at the property would set a precedent for approving similar schemes in the area, resulting in a considerable increase in the population and further parking pressures. However each application has to be considered on its own merits in relation to the circumstances and policies prevailing at the time."

Conclusion

The previous application for the erection of a part two storey, part single storey side/rear extension, single storey front extension and conversion of existing integral garage and store into habitable space was refused as the side extension was not set back from the main front wall of the dwelling by 1m and consequently the roof was not subordinate to the main roof. This stance was supported on appeal.

The currently proposed scheme now sets the side extension back from the from the main front wall of the dwelling by 1m and consequently the roof of the extension is now subordinate to the main roof. The application has therefore overcome the reason for refusal and subsequent dismissal on appeal of the previous scheme and is thus recommended for approval.

6. **RECOMMENDATION**

APPROVAL subject to the following:

1 HH-T8 Time Limit - full planning application 3 years

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HH-M1 Details / Samples to be Submitted

No development shall take place until samples of all materials, colours and finishes to be used on all external surfaces have been submitted to and approved in writing by the Local Planning Authority.

REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

3 HH-OM1 Development in accordance with Approved Plans

The development shall not be carried out otherwise than in strict accordance with the plans hereby approved unless consent to any variation is first obtained in writing from the Local Planning Authority.

REASON

To ensure that the external appearance of the development is satisfactory and complies with Policy BE13 and BE15 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

4 HH-RPD1 No Additional Windows or Doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing 39 and 43 Raisins Hill.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

5 HH-RPD2 Obscured Glazing and Non-Opening Windows (a)

The window(s) facing No. 43 Raisin's Hill shall be glazed with permanently obscured glass and non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6 HH-RPD4 Prevention of Balconies / Roof Gardens

The roof area of the rear extension hereby permitted shall not be used as a balcony, roof garden or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

7 MRD4 Single Dwellings Occupation

The development hereby approved shall not be sub-divided to form additional dwelling units or used in multiple occupation without a further express permission from the Local Planning Authority.

REASON

To ensure that the premises remain as a single dwelling until such time as the Local Planning Authority may be satisfied that conversion would be in accordance with Policy H7 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

INFORMATIVES

Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:
Policy No.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
AM14	New development and car parking standards.
LPP 4A.3	London Plan Policy 4A.3 - Sustainable Design and Construction. - Replaced by LPP 5.3 (2011) Sustainable design and construction
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building

or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building

Control,

3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
- carry out work to an existing party wall;
 - build on the boundary with a neighbouring property;
 - in some circumstances, carry out groundworks within 6 metres of an adjoining building.
- Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.
- 9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -
- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on

Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

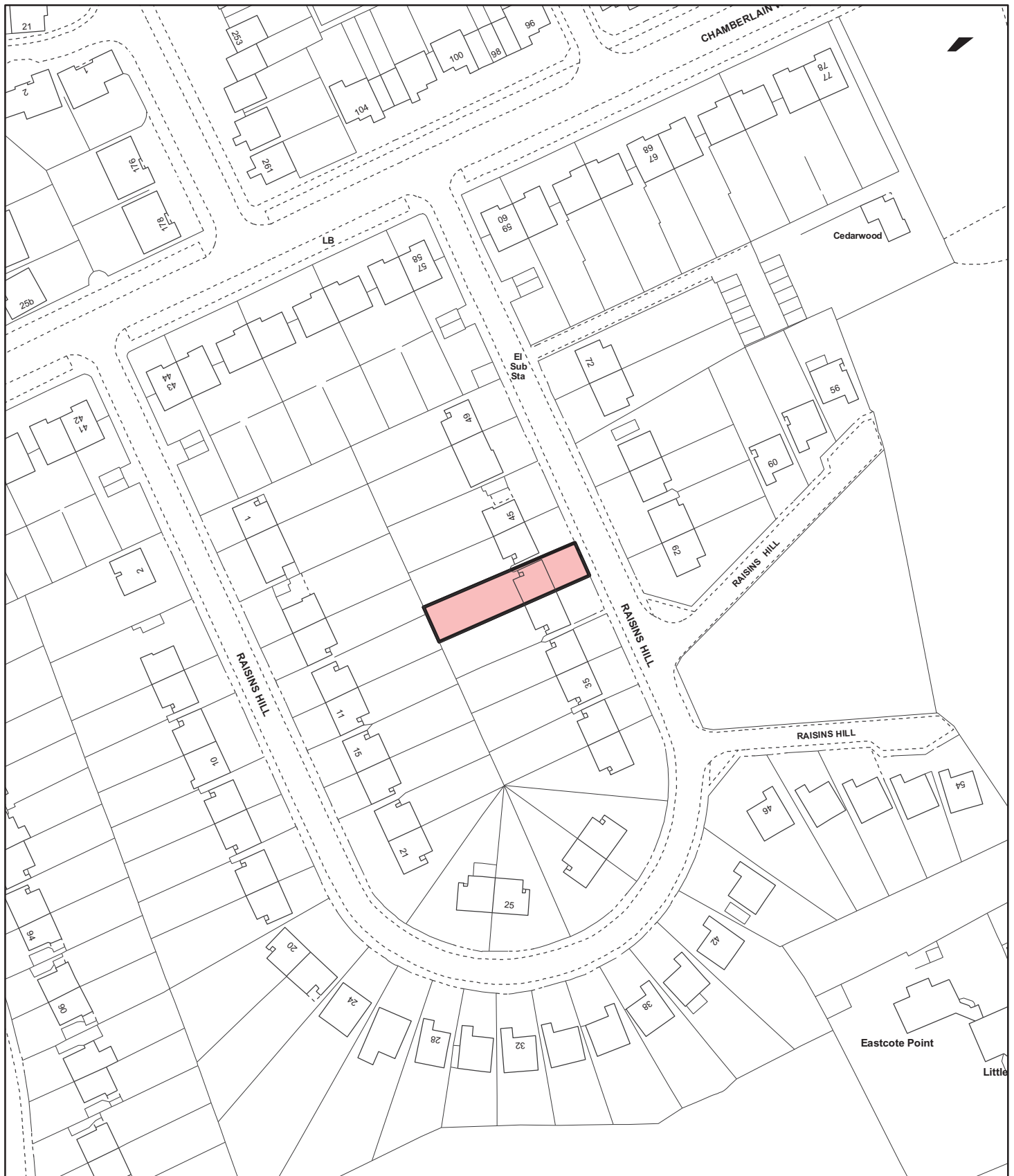
D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO₂) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Clare Wright

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**41 Raisins Hill,
Pinner**

Planning Application Ref:

64909/APP/2011/1165

Planning Committee

North Page 92

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address LAND AT CROWS NEST FARM BREAKSPEAR ROAD SOUTH
HAREFIELD

Development: Detached storage building to be used for the processing and storage of bio fuel and compost

LBH Ref Nos: 1113/APP/2011/1020

Drawing Nos: 25420/WP Rev. A
CNF 1
Design and Access Statement
Report on Development
CNF 2

Date Plans Received: 28/04/2011 **Date(s) of Amendment(s):**

Date Application Valid: 12/05/2011

1. SUMMARY

The application relates to the construction of a detached storage building within the curtilage of an existing waste facility in the Green Belt. It is stated that this building would be used for the processing and storage of bio fuel and compost. As the site is located in the Green Belt and waste facilities are not one of the essential uses of land and buildings which are specified as acceptable, this building and its intended use is considered inappropriate development within the Green Belt and no very special circumstances have been put forward by the applicant.

No details have been supplied to show that the site is suitable for the proposal in terms of its proximity to the source of waste; ability to use transport sources other than road haulage; the nature of the proposed use and its scale; and the full transport impact of all collection and transfer movements and therefore fails to satisfy the criteria of Policy 5.17 of the London Plan 2011.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposal represents inappropriate development within the Green Belt and no very special circumstances to justify the development have been demonstrated which would outweigh the harm that would be caused to the Green Belt as a result of the development. The proposal is therefore contrary to policy OL1 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007), Policy 7.16 of the London Plan (2011) and PPG2 Green Belts

2 NON2 **Non Standard reason for refusal**

No evidence has been provided to show the site is suitable for the proposal in terms of its proximity to the source of waste, ability to use transport sources other than road haulage, the nature of the proposed use and its scale and the full transport impact of all collection and transfer movements. The application therefore fails to adequately demonstrate that the site is suitable and sustainable site for waste management, contrary to policy 5.17 of

the London Plan (2011).

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 **Compulsory Informative (2)**

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (February 2008) and national guidance.

OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
AM7	Consideration of traffic generated by proposed developments.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
LPP 5.17	(2011) Waste capacity
LPP 7.16	(2011) Green Belt

3. **CONSIDERATIONS**

3.1 **Site and Locality**

The application site is located 200m west of Breakspear Road and consists of a large farm and organic waste recycling facility known as Crows Nest Farm. This is predominantly an area of open countryside with a small number of dwellings and farms scattered in the area. The land to the north, south and west of Crows Nest Farm comprises of open fields with hedgerows and hedgerow trees, with a public footpath to the south linking Breakspear Road south towards High View Farm to the north-west.

The farm and organic waste recycling facility is spread over a large area of land

approximately 0.29 hectares and consists of several large industrial style sheds and storage buildings associated with the use as a waste recycling facility. An access road connects the site to the main Breakspear Road along the eastern boundary with Crows Nest Farm House located approximately 200m north east and directly opposite the Breakspear Arms Public House. The buildings within the farm complex are generally similar in height and design with an eaves height of approximately 4m and finished height of 6m to the top of the roof. The existing buildings range between 300sqm and 800sqm per building. The materials consists of mixture of brick and metallic sheeting over the flank walls and roof finished in a green coated paint.

3.2 Proposed Scheme

The proposal seeks to erect a new detached storage building for the processing and storage of bio fuel and compost. The location of the building will be adjacent to an existing storage building situated along the north western boundary approximately 200m west from the access into the site from Breakspear Road. The proposed building would measure 34m deep by 19m wide and has a pitch roof which would have an eaves height of 5m up to a maximum height of 7.6m to the ridge. The materials used would consist of both block and metallic sheeting. There would be block work up to the eaves on both eastern and western flanks with the northern rear elevation also using block with a metallic clad sheeting covering this elevation. The front or southern flank would remain open. The roof would be pitched and finished in a similar grey steel sheeting as the rear elevation.

3.3 Relevant Planning History

1113/AG/89/2490 Crows Nest Farm Breakspear Road South Harefield
Change of use of agricultural buildings to light commercial storage including scaffolding and building equipment and retention of vehicle and caravan storage site

Decision: 12-10-1990 Approved

1113/APP/1999/2230 Land Rear Of Crows Nest Farm Breakspear Road South Harefield
USE AS A COMPOSTING STATION (APPLICATION FOR A CERTIFICATE OF
LAWFULNESS FOR AN EXISTING USE OR OPERATION OR ACTIVITY)

Decision: 10-02-2000 Refused

1113/APP/2002/1425 Crows Nest Farm Breakspear Road South Harefield
USE OF LAND AT SITE AS A COMPOSTING CENTRE (APPLICATION FOR A CERTIFICATE
OF LAWFULNESS FOR AN EXISTING USE OR OPERATION)

Decision: 19-05-2004 Approved

1113/APP/2002/2590 Crows Nest Farm Breakspear Road South Harefield
ERECTION OF A SINGLE STOREY LINKED EXTENSION (INVOLVING DEMOLITION OF
EXISTING OUTBUILDINGS)

Decision: 10-09-2003 Approved

1113/APP/2008/2945 Crows Nest Farm Breakspear Road South Harefield

Erection of a single storey side extension to form garage and extension to existing covered verandah.

Decision: 04-12-2008 Approved

1113/S/78/0112 Crows Nest Farm Breakspear Road South Harefield
Agricultural development - 2.0000 hectares (Full)(P)

Decision: 17-04-1978 Approved

Comment on Relevant Planning History

There are multiple applications on this site since the early seventies. In 1990 planning permission was granted (ref 1113/AG/89/2490) on the site for a change of use from agricultural buildings to light industrial. The use as a composting centre became lawful in 2004, when a Certificate of Lawful Use was issued (ref 1113/APP/2002/1425).

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
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AM14	New development and car parking standards.
AM7	Consideration of traffic generated by proposed developments.
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
LPP 5.17	(2011) Waste capacity
LPP 7.16	(2011) Green Belt

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

Three surrounding neighbours and Harefield Tenants and Residents Association were consulted on the site.

Harefield Tenants and Residents Association: No objection subject to appropriate design. Our members note that the proposed detached storage building is a very large structure within the Green Belt with open views from the countryside on three sides. We recognise that the activity has planning consent and there may be special circumstances for the erection of this structure. We would therefore request that if approval is given that by condition, the building materials should blend in with the environment and also that a condition is added that should the business activity cease that the structure is removed to protect the Green Belt in the future.

Environmental Agency: No objection subject to the following conditions.

Condition

No infiltration of surface water drainage into the ground is permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to controlled waters

The development shall be carried out in accordance with the approval details.

Reason

The site lies within SPZ1, this designation refers to the Principal (Chalk) aquifer that is beneath the clay identified in the submitted document. We would not object to clean roof drainage discharging to ground via soakaway in this area but we would object to surface water from other areas on site discharging into the soakaway.

Please note that any soakaway would necessarily be deep due to the clayey ground and must be very carefully designed, constructed and maintained so that it does not form a pollution pathway for surface contamination or surface water drainage to migrate into the Principal aquifer. Additionally, any soakaway or infiltration device must not be located in land affected by contamination and its base must not discharge directly into groundwater. To allow for seasonal fluctuation in the chalk groundwater level, the base of the device must be as shallow as possible and there must remain at least 5 metres of unsaturated zone - i.e. since our maps indicate groundwater lies approximately 14 m below site ground level, the base of the soakaway must be no deeper than 9 metres below ground level.

Condition

Piling or any other foundation designs using penetrative methods shall not be permitted other than with the express written consent of the Local Planning Authority, which may be given for those parts of the site where it has been demonstrated that there is no resultant unacceptable risk to groundwater. The development shall be carried out in accordance with the approved details.

Reason

To protect the underlying Principal (chalk) aquifer from contamination by ensuring the piling method

and the piles themselves are unlikely to be a pathway for pollution to migrate downwards. We recommend that developers follow the risk management framework provided in our guidance for Piling into Contaminated Sites and also refer to the document: Piling and Penetrative Ground Improvement Methods on Land Affected by Contamination: Guidance on Pollution Prevention

Thames Water: Thames Water would advise that with regard to sewerage infrastructure we would not have any objection to the above planning application. With regard to water supply, this comes within the area covered by the Veolia Water Company.

Internal Consultees

Highways: The proposed building is to meet the increasing demand for green waste and to meet the Environment Agency's requirements to provide a covered storage area. No alterations are proposed to the existing access in Breakspear Road South. The proposals are not considered to generate significant additional traffic and parking demand (if any). No objection is therefore raised on the highways aspect of the proposals.

West London Waste Plan Project Manager: The site is not listed in the draft West London Waste Plan as a safeguarded site, an existing site for intensification or the co-location of waste facilities, or as a proposed site for future waste development. It has not previously been considered for inclusion in the draft Plan. While we note there is an existing waste facility on the site, as it is located within the Green Belt it is not considered an appropriate site for a more intensive waste treatment use.

Environmental Protection Unit: Should planning permission be granted I would recommend the conditions relating to suitable hours of use and the construction site information be applied.

Landscape Officer: Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- No trees or other landscape features will be affected by the development and the proposed new building will have little impact on views into the site, or the landscape setting, provided that the roof and any cladding is an appropriate colour.

- The existing barns are coloured a pale grey green which sits comfortably within the landscape. The colour of any new structure should be similar and, if not, a recessive colour which can be comfortably assimilated into the landscape. The BS, or RAL paint colour should be specified now or conditioned. Due to the local landscape character and site context, no additional planting or landscape treatment is required in this case.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Crow's Nest Farm is located within the Greenbelt. PPG2 (Green Belts) states that the most important attribute of the Green Belt is its openness. Therefore, the construction of new buildings in the Green Belt is inappropriate unless it is for, agriculture and forestry, essential facilities for outdoor sport and recreation, for cemeteries and or other uses of land which preserve the openness of the Green Belt, limited infilling or redevelopment of major developed sites identified in adopted development plans which meet the criteria specified in Annex C of Planning Policy Guidance Note 2 (Green Belts) 1995.

The proposal does not conform to the types of development allowed by Policy OL1 and no special circumstances have been provided. The principle of development is therefore unacceptable.

7.02 Density of the proposed development

Not applicable to this application

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Not applicable to this application

7.04 Airport safeguarding

Not applicable to this application

7.05 Impact on the green belt

Central Government planning policy on the Green Belt is provided by PPG2: Green Belts, published in January 1995 (amended March 2001). Hillingdon's main local policy guidance is set out in Chapter 3 of the UDP Saved Policies (September 2007) entitled 'Open Land and Countryside'. It should also be noted that the London Plan (2011) maintains an overall, strategic position on the Green Belt in and around London.

PPG2 advises that there is a general presumption against inappropriate development within the Green Belt and that such development should not be approved except in very special circumstances. PPG2 advises that material changes of use of land are inappropriate unless they maintain openness and do not conflict with the purposes of including the land within the Green Belt (Paragraph 3.12). Paragraph 3.4 advises that new buildings represent inappropriate development unless they are for the following purposes:

- Agriculture and forestry;
- Essential facilities for outdoor sport and outdoor recreation, for cemeteries and for other uses of land which preserve the openness of the Green Belt and which do not conflict with the purposes of including lands in it;
- Limited extension, alteration or replacement of existing dwellings;
- Limited infilling in existing villages and limited affordable housing
- Limited infilling or redevelopment of major existing developed sites identified in adopted plans.

The London Borough of Hillingdon Unitary Development Plan Saved Policies September(2007) Policies OL1 and OL4 essentially re-iterate advice in PPG2. In this case the proposal is for the intensification of the use of the site for the storage and processing of waste. The application does not fall within any of the exceptions set out in PPG2, and as such the proposal represents inappropriate development in the Green Belt.

There is a presumption against inappropriate development in the Green Belt and as such there is an in principle objection to the scheme. PPG2 states that very special circumstances are required to justify inappropriate development. In this case the applicant has provided no such justification and the proposal represents a departure from Policy OL1 of the UDP Saved Policies September 2007, the London Plan (2011) and PPG2: Green Belts and is unacceptable in this regard.

7.06 Environmental Impact

The Environment Agency have been consulted on the proposal and have no objection to the building in question subject to certain conditions. A Preliminary Risk Assessment has been submitted to the Environment Agency and subject to appropriate conditions on soakaway, it is considered the proposal would not have an environmental impact.

7.07 Impact on the character & appearance of the area

The storage building would be 200m from the nearest highway. Breakspear Road is a secondary road that cuts through the Green Belt and is generally defined by mature hedgerows and some trees along the boundary. Along the entrance directly to the east of the site, a large existing building 6m in height screens the remaining buildings from this section of the highway. At present the rear buildings on this site are visible approximately 150m to the south east along Breakspear Road. Given that the height of the proposed

storage building would be 2m higher than the existing storage buildings on the site, there would be slight visibility of top of the building from a small section of this road. There would, however, be approximately 260m separation distance from this stretch of the highway to the proposal, indeed, there are no public footpaths nearby either from which a vantage point could be gained and with taking account of the neutral colouring of the building and the quick moving traffic, the proposal is considered not to cause significant harm to street scene to merit a refusal on this ground.

7.08 Impact on neighbours

The proposed storage building would be positioned adjacent to several building similar in size and appearance in an established use. There are no neighbouring properties within the immediate area. The nearest dwelling to the proposal would be the Crow Nest Farm House which is located 180m north east of the site. It is therefore considered that overlooking or loss of privacy would not be concern in this application.

7.09 Living conditions for future occupiers

Not applicable to this application

7.10 Traffic impact, car/cycle parking, pedestrian safety

Highways have commented on the proposal and satisfied that the proposal would not lead to any additional traffic strains or parking demand and it therefore comply with Policies AM7 & AM14 of the Hillingdon UDP.

7.11 Urban design, access and security

The proposal is located within the Green Belt and would need to meet certain policies associated with the Green Belt which is discussed in the Other Issues section. This section deals specifically with design and its impact on the surrounding neighbours.

Building Bulk and Scale

The proposal would be positioned adjacent to an existing storage building and it would have a similar footprint to the existing buildings within the compost centre. It would have a pitch roof finish with a maximum height of 7.6m. Policy OL4 of the UDP notes that the Local Planning Authority will only permit the replacement or extension of buildings within the Greenbelt if; the development would not result in a disproportionate change in bulk or character to the original building; the development would not significantly increase the built up appearance of the site; and having regard to the character of the surrounding area the development would not injure the visual amenities of the Green Belt by reason of siting, materials, design. In this case the scheme would not represent replacement or extension of any building rather it is a new structure in the Green Belt. It is considered that due to its positioning adjacent to several storage buildings similar in size and design, it would be difficult to argue the proposal would significantly or disproportionately change the built up appearance of the site or character of the surrounding area. Its location 200m from the adjacent highway, and the existing buildings that would screen the proposal from this highway, would also prevent the proposal having a detrimental impact on the street scene. The proposal is therefore considered acceptable in terms of size and bulk would comply with policy BE13 of the UDP (Saved Policies September 2007).

7.12 Disabled access

Not applicable to this application

7.13 Provision of affordable & special needs housing

Not applicable to this application

7.14 Trees, Landscaping and Ecology

The Landscape Officer has no objection to the proposal and has commented that no trees or other landscape features will be affected by the development. Given the positioning, the

landscape officer has also commented that no additional planting would be required. As such the proposal is considered to comply with Policy BE38 of the UDP (Saved Policies September 2007).

7.15 Sustainable waste management

See section 7.22

7.16 Renewable energy / Sustainability

Not applicable to this application

7.17 Flooding or Drainage Issues

The Environment Agency have been consulted and consider the proposal would not lead to any flooding or drainage concerns subject to a condition requiring written consent to be obtained from the Local Planning Authority for any infiltration of surface water drainage into the ground.

7.18 Noise or Air Quality Issues

Not applicable to this application

7.19 Comments on Public Consultations

None

7.20 Planning Obligations

Not applicable to this application

7.21 Expediency of enforcement action

Not applicable to this application

7.22 Other Issues

Policy 5.17 of the London Plan 2011 expects the Borough to plan for sufficient additional waste sites to meet future apportionment needs. The West London Waste Plan DPD is currently in public consultation. The emerging DPD identifies existing and proposed waste transfer and waste management sites across six west London Boroughs. The emerging DPD sets out policies covering future waste facility proposals. Any new sites not identified in the Plan have to justify why they are needed in addition to the Plan's list of existing and proposed sites. It is noted that limited material weight can be attached to this DPD at present given it is only at the stage of public consultation and has not yet been adopted as policy.

With regard to the new adopted London Plan policy, Policy 5.17 of the London Plan requires maximum use to firstly be made of existing waste storage and processing sites. The application has made no reference to the location of capacity of other sites, and as such given the Green Belt location concern is raised regarding the suitability of this site and that it is totally reliant on road transport into/out of the site.

Policy 5.17 of the adopted London Plan (2011) sets out the selection criteria for waste management, storage and processing sites, noting that regard should be had to the following criteria:

- i) locational suitability;
- ii) proximity to the source of waste;
- iii) the nature of activity proposed and its scale;
- iv) the environmental impact on surrounding areas, particularly noise emissions, odour and visual impact and impact on water resources;
- iv) the full transport impact of all collection, transfer and disposal movements, particularly maximising the potential use of rail and water transport;
- vi) primarily using sites that are located on Preferred Industrial Locations or existing waste management locations.

No compelling evidence has been submitted to justify the location of the proposal against other requirements set out in Policy 5.17. Part of the thrust behind Policy 5.17 is to site waste management and disposal sites in strategic and sustainable locations which enable transfer of waste by sources other than solely road haulage. This site can only be served by road haulage and this site is not considered to be a location which complies with the above criteria of Policy 5.17 of the London Plan.

Without an adequate justification as to how the scheme complies with Policy 5.17 the scheme is considered unacceptable in principle.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

Not applicable to this application

10. CONCLUSION

For the reasons outlined above and given that there is a presumption against development in the Green Belt, the development is contrary with the aforementioned policies of the adopted Hillingdon Unitary Development Plan (Saved Policies September 2007), this application is recommended for refusal.

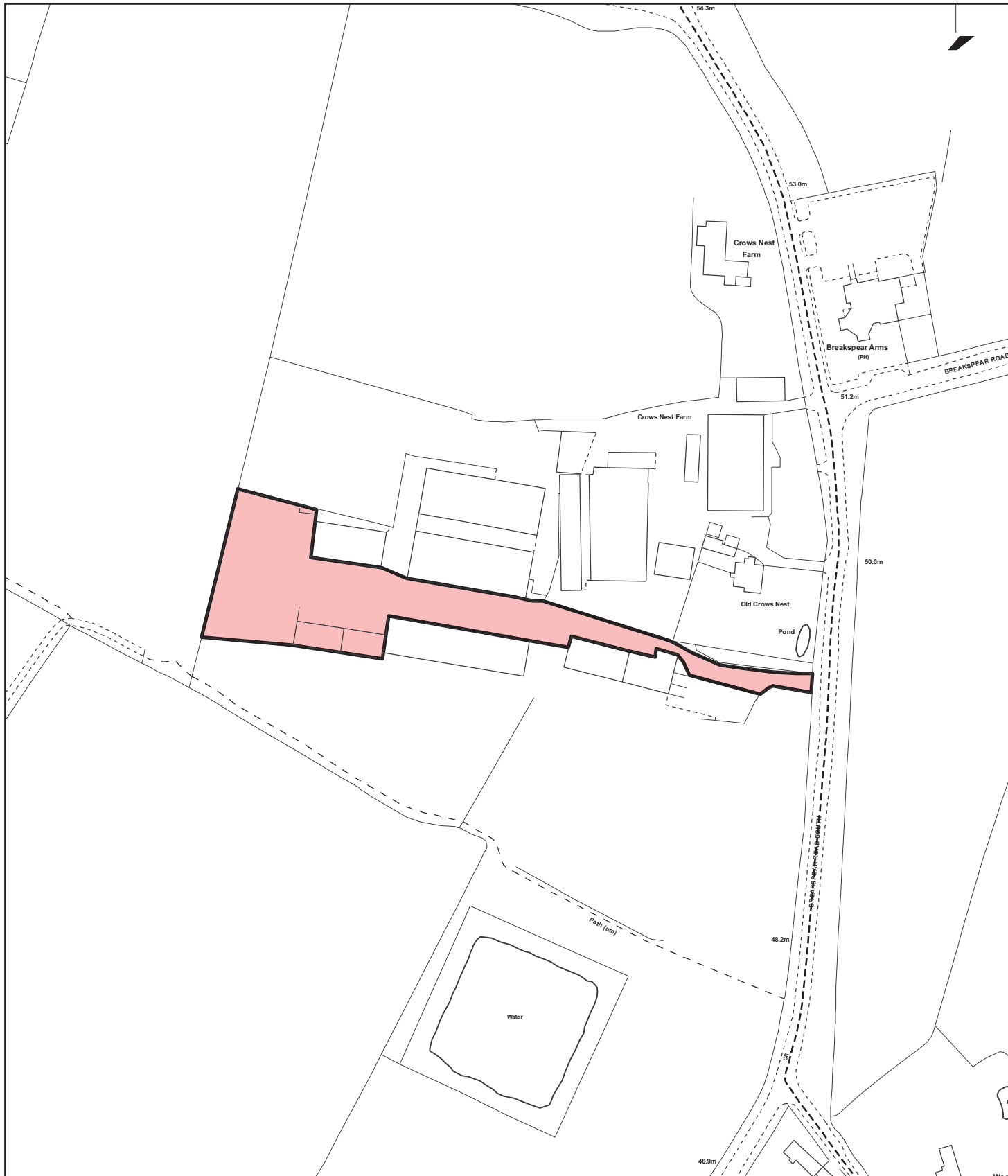
11. Reference Documents

Adopted Hillingdon Unitary Development Plan (Save Policies September 2007)
Planning Policy Guidance Note 2: Green Belts
The London Plan (July 2011)

The Draft West London Waste Plan

Contact Officer: Eoin Concannon

Telephone No: 01895 250230



Notes

 Site boundary

For identification purposes only.

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Site Address

**Land at Crows Nest Farm,
Breakspear Road South,
Harefield**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111

Planning Application Ref:
1113/APP/2011/1020

Scale
1:2,000

Planning Committee
North Page 104

Date
**September
2011**



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 47 COPSE WOOD WAY NORTHWOOD

Development: Erection of two storey, five-bedroom, detached dwelling with conversion of roof space to habitable use to include 2 rear dormers and 5 rooflights involving demolition of existing dwelling.

LBH Ref Nos: 18371/APP/2011/1271

Drawing Nos: 105 Rev. A
104 Rev. B
103 Rev. B
102
101
100
Design and Access Statement
TPP/47/CWW/01
Arboricultural Report

Date Plans Received: 24/05/2011 **Date(s) of Amendment(s):**
Date Application Valid: 02/06/2011

1. SUMMARY

This application is for the demolition of the existing house and its replacement with a larger house.

The site lies within the Copse Wood Area of Special Local Character and consideration has to be given to the impact that the development has on this area, in addition to the normal planning considerations relating to the impact on the streetscene, impact on neighbours, impact on trees and vegetation and the parking and highway implications.

The proposal is for a detached dwelling. It is considered that due to the bulk, design, and roof form, the development is overly bulky in relation to its surroundings, resulting in an incongruous feature and an over-development of the site to the detriment of the street scene and the Area of Special Local Character of which it forms part.

2. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 **Non Standard reason for refusal**

The proposal, by reason of its size, scale, bulk, massing, design and position would result in a cramped overdevelopment of the site which would detract from the open character and appearance of the surrounding area and the visual amenities of the street scene and the Copse Wood Area of Special Local Character. The proposal is therefore contrary to Policies BE5, BE6, BE13 and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007) and the adopted Supplementary Planning Document HDAS: Residential Layouts.

INFORMATIVES

1 I52 **Compulsory Informative (1)**

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 153 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE6	New development within Gate Hill Farm and Copsewood Estates areas of special local character
BE5	New development within areas of special local character
H4	Mix of housing units
H5	Dwellings suitable for large families
H6	Considerations influencing appropriate density in residential development.
H9	Provision for people with disabilities in new residential developments
AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

3

The extent of excavations to the rear of the proposed building to incorporate steps, a patio and substructure are unclear on the submitted drawings and this should be addressed in the event of any re-submission.

3. CONSIDERATIONS

3.1 Site and Locality

The application property is a detached dwelling sited on the south-eastern side of Copse Wood Way at a point approaching the brow of a hill in the road. The existing dwelling is a two storey building with brick elevations and hipped, tiled roof with prominent gable features on the front elevation.

The property is set back from the road by approximately 15m, broadly in line with other

properties in the street. The front garden is landscaped with mature vegetation and a parking and turning area immediately to the front of the house. A single vehicular access at the northern side of the plot leads to the parking area and an attached garage at the southern side of the house.

To the rear, the garden slopes down from north-west to south-east and, beyond the patio immediately to the rear, the garden is grassed, with mature trees and shrubs along all boundaries. The overall depth of the rear garden from the rear of the existing house is approximately 38m, with the overall plot depth from front to rear being some 60m.

The street scene is residential in character and appearance comprising substantial two storey detached houses set in spacious plots. There are a number of properties that have been replaced in recent years throughout the estate.

The application site lies within the Copsewood Area of Special Local Character and is within the developed area as identified in the saved UDP, September 2007.

3.2 Proposed Scheme

The application is for the demolition of the existing building and its replacement with a new two storey dwelling with accommodation in the roofspace.

The new building would be in a similar position to the existing building although with a substantially greater footprint, rectangular, almost square in shape. To the front it would be slightly forward of the front elevation of No.45 to the north-east. It would extend 13m to the rear, retaining a 1.5m gap either side of the plot. It would have an eaves level of 5.45m and ridge height of 8.4m above the proposed external ground level. Elevations would comprise brick, with a tiled roof.

3.3 Relevant Planning History

18371/C/91/1042 47 Copse Wood Way Northwood

Erection of an attached garage and conversion of existing garage to habitable room with front extension

Decision: 23-08-1991 Approved

18371/D/98/0407 47 Copse Wood Way Northwood

Erection of a single storey side extension

Decision: 30-04-1998 Approved

Comment on Relevant Planning History

There is no recent planning history of relevance to this application site. It should, however, be noted that there have been replacement houses permitted and implemented in the immediate area. These are also referred to in the applicant's Planning Statement.

4. Planning Policies and Standards

UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

BE13	New development must harmonise with the existing street scene.
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE6	New development within Gate Hill Farm and Copsewood Estates areas of special local character
BE5	New development within areas of special local character
H4	Mix of housing units
H5	Dwellings suitable for large families
H6	Considerations influencing appropriate density in residential development.
H9	Provision for people with disabilities in new residential developments
AM14	New development and car parking standards.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

22 occupiers of adjoining and nearby properties have been notified of the application. One letter of representation has been received commenting that there is no objection to this application other than to understand the steps they propose to take to ensure no damage to the adjoining property, the need for a surveyor to avoid damage and to ensure that any windows that overlook the adjoining property are within the rules established by the council.

OFFICER COMMENT: The issues relating to potential damage and surveyors are not a planning matter, but would need to be addressed by the relevant property owners were the development to commence. Issues relating to overlooking are addressed below.

Northwood Residents Association: No response received.

Internal Consultees

CONSERVATION AND URBAN DESIGN (Summary of Comments):

BACKGROUND: The proposal would involve the replacement of the existing house with a very substantial house on three floors. The house stands next to an access way to No. 49, built to the rear. Thus the side view of the house would be more than usually visible.

The proposed house would be unacceptable by virtue of its size, bulk and design, The house has been set forward of the building line, and the depth of the house to the rear, in conjunction with the steps and patio area would require a deep substructure. Neither the steps required at the rear to reach the garden, nor the patio, are shown consistently on the site plan, elevations and floor plans.

The house would be a very large rectangular box on three storeys, with a huge area of crown roof and some small areas of crown roof on the central gable at the rear, the back projection and the front projections. The proportions of the front elevation would be particularly unattractive: the overall concept is a traditional vernacular design but the double V shape at the front, the single offset windows at the side, the placing of the larger windows, the flat frontage and verandah are all elements which jar with the chosen design idiom.

RECOMMENDATIONS: Unacceptable

TREES AND LANDSCAPE OFFICER:

The site is covered by TPO 398, which protects all Oak, Hornbeam, Silver Birch and Scots Pine. No objections are raised with respect to trees matters, subject to appropriate conditions being imposed if planning permission were to be granted. It is noted that there are several high amenity trees on this site, most noticeably, the Hornbeam, Cedar and Silver Birch within the front garden and the Eucalyptus within the rear garden. These trees significantly contribute to the visual amenity and wooded character of the Copse Wood Estate Area of Special Local Character and are, in terms of Saved Policy BE38, landscape features of merit. The trees should therefore be afforded protection and long-term retention as part of the development. There are several other mature trees within the rear garden, including Oak, Willow and Cedar, which also contribute to the wooded character of the area and are features of merit.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Whilst the site is in an Area of Special Local Character, the principle of demolishing the existing building is acceptable, subject to the replacement dwelling being acceptable in terms of its siting, size, bulk, design, appearance and impact on adjoining occupiers and these issues are discussed in detail below.

7.02 Density of the proposed development

The replacement dwelling would not substantially alter the density of development in the area, either in terms of dwellings or habitable rooms.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

Policy BE22 states developments of two or more stories should be set away a minimum of 1.5 metre from the side boundary in the Copsewood Estate for the full height of the building. This is to protect the gaps between properties. The proposal is considered to comply with this advice and would not result in the visual closing of the gap between built development.

With regard to design, the SPD HDAS: Residential Layouts, Section 5.11 states that the intensification of sites within an existing streetscape, if carefully designed, can enhance the appearance of the surrounding area, and the form and type of development should be largely determined by its townscape context. In areas of varied townscape of little quality, new developments should aim to make a positive contribution to improve the quality of the area, although they should relate to the scale and form of their surroundings. In this

particular case, it is considered that due to the proposed site coverage, bulk, design, and roof form, the development is overly bulky and out of context in relation to its surroundings, resulting in an incongruous feature and over-development of the site to the detriment of the street scene and the wider area.

Planning Policy Statement (PPS)3: Housing, states that whilst it is considered to be strategically important that sufficient housing is delivered, it is made clear in the policy that this should not be at the expense of quality. Paragraph 13 of this document clarifies this advice, stating that design which is inappropriate in its context, or fails to take the opportunity available for improving the character and quality of an area and the way it functions should not be accepted.

With regard to design when determining applications, the PPS makes it clear that the following matters are relevant to good design:

- accessibility and efficient use of space
- access to outdoor space
- integration in terms of scale, density, etc
- efficient use of resources
- design led approach to car parking
- creation or enhancement of a distinctive character
- provision or protection of biodiversity and
- provision of safe play areas for children when providing family housing

Whilst the proposal is considered to comply with much of this advice, the design of the proposal is not considered to enhance the distinctive character of the area, or to integrate successfully in terms of scale and site coverage.

The proposed dwelling, due to its large footprint, and need to relate its height in terms of the existing adjacent properties, would result in a large crown roof and an excessive span depth. Whilst this excessive depth and large crown roof may not be apparent when standing directly in front of it, when viewed from an angle (which would be more usual when moving through a street scene) the building would appear overly large and bulky. Furthermore, whilst it is of a similar height to the neighbouring dwellings, when viewed against the back drop of the remaining properties in the street scene (again due to its depth and roof design) it would appear to dwarf these dwellings.

The Copse Wood Estate has an attractive woodland setting and this is characterised by views gained through and between the existing properties to the woodland behind, this area has been designated as one of the authorities 'Areas of Special Local Character', and therefore the authority wish to preserve and enhance this character. It is considered that the proposed replacement dwelling, due to the excessive footprint and roof design, would result in the loss of views between the properties to the detriment of the special character of the area. Whilst it is accepted there are other examples of this type of development proposal in the vicinity they are not considered as good examples of design and, in your officers view, are considered to detract from the street scene resulting in visual harm. As such, it is not something the authority would wish to encourage.

The Council's Conservation and Urban Design Officer supports this stance and considers that overall the proposed house would be unacceptable by virtue of its size, bulk and design.

In view of the above, it is considered that whilst the proposed house is relatively inconspicuous in the streetscene the proposed development would be significantly greater

in bulk and massing. It is considered that the combination of the proximity of the development to the side boundaries, combined with the bulk and mass of the building would result in a building that is overdominant in the streetscene and harmful to the character of the Area of Special Character. The south-western flank wall in particular would be particularly dominant against the backdrop of the vehicular access to the properties at the rear. the proposal would thus result in a detrimental impact on the visual amenities of the existing street scene, and the Area of Special Local Character, and as such would fail to comply with Policies BE5, BE6, BE13, and BE19 of the Hillingdon Unitary Development Plan (Saved Policies September 2007), the Supplementary Planning Document HDAS: Residential Layouts and Planning Policy Statement (PPS) 3: Housing.

7.04 Airport safeguarding

There would be no impact in this respect.

7.05 Impact on the green belt

The site is not within the Green Belt and as such there would be no impact.

7.06 Environmental Impact

Not applicable.

7.07 Impact on the character & appearance of the area

See Section 7.03

7.08 Impact on neighbours

The property that would be most affected by the development would be No.45 to the north-east. Whilst there is an attached garage between the boundary of the property and its main southern elevation, there is also a first floor window in the flank wall that has clear glazing and assumed to be that of a habitable room. However, given the relationship of the existing buildings it is considered that there would not be a material adverse impact to the light into, or outlook from that window to justify a refusal of permission. There is a birch tree and laurel hedge along this boundary that provide some screening between the properties and it would be desirable to retain these to ensure adequate levels of privacy. However, given the closeness of the new building to the boundary there would need to be detailed conditions to protect existing trees and vegetation, were an approval to be considered.

No.53 to the south is separated from the application site by an unmade vehicular access between the two properties that leads to Nos. 49 and 51 Copse Wood Way that are sited beyond the rear gardens. The access enables good spacing between the proposed development and No.53 and as such it is considered that there would be no adverse impact on the amenities of the occupiers of No.53.

Given the length of the garden and the intervening vegetation with the properties at the rear of the site there would be no adverse impact on the amenities of those occupiers.

To conclude on the impact of the development on neighbours, on balance, there would be no adverse impact in terms of loss of light, privacy, overlooking or any overbearing impact or visual intrusion that would justify a refusal of planning permission. As such, the application proposal would not represent an unneighbourly form of development and would thus be in compliance with policies BE20, BE21 and BE24 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and section 3.0 of the Hillingdon Design & Accessibility Statement (HDAS): Residential Extensions.

7.09 Living conditions for future occupiers

The proposed development would provide a satisfactory standard of living accommodation for the occupiers with the size of the dwelling being in excess of the Council's and London Plan Standards and all rooms receiving an appropriate level of natural light and

ventilation.

The amount of amenity space retained in the rear garden would still be sufficient and appropriate to this dwelling in accordance with HDAS: Residential Layouts and policy BE23 of the saved UDP. However, it is unclear as to the extent of rear patio areas and engineering works that may be required to accommodate the changes in level between the house and garden to enable access to the rear garden area.

7.10 Traffic impact, car/cycle parking, pedestrian safety

It is considered that the proposal would not give rise to any concern regarding traffic impact or highway safety. Whilst the replacement dwelling is larger it would not result in any significant additional increase in traffic generation and the existing crossover into the site would be utilised.

The application proposal would include the provision of a garage and off-street parking is available to the front of the property so as to accommodate two off-street car parking spaces and some soft/hard landscaping. This would be in compliance with policies AM14 and BE38 of the saved UDP and the Council's adopted Car Parking Standards (Annex 1, adopted Hillingdon Unitary Development Plan, Saved Policies, September 2007).

7.11 Urban design, access and security

See Section 7.03

7.12 Disabled access

The design allows for a level access to the front of the property, and would have a ground floor WC in compliance with Part M of the Building Regulations.

7.13 Provision of affordable & special needs housing

There would be no requirement in this case for the development to provide affordable or special needs housing.

7.14 Trees, Landscaping and Ecology

See Trees Officers comments above.

7.15 Sustainable waste management

Adequate refuse storage can be accommodated within the property.

7.16 Renewable energy / Sustainability

Not applicable to this development.

7.17 Flooding or Drainage Issues

There would be no flooding or drainage issues arising from this development. Building Regulations would ensure that local drainage and sewerage measures are implemented in a satisfactory manner.

7.18 Noise or Air Quality Issues

There would be no noise or air quality issues arising from this development.

7.19 Comments on Public Consultations

As detailed above.

7.20 Planning Obligations

There would be no Planning Obligations arising from this proposal were planning permission to be granted.

7.21 Expediency of enforcement action

Not applicable.

7.22 Other Issues

None at the time of writing.

8. Observations of the Borough Solicitor

When making their decision, Members must have regard to all relevant planning legislation, regulations, guidance, circulars and Council policies. This will enable them to make an informed decision in respect of an application.

In addition Members should note that the Human Rights Act 1998 (HRA 1998) makes it unlawful for the Council to act incompatibly with Convention rights. Decisions by the Committee must take account of the HRA 1998. Therefore, Members need to be aware of the fact that the HRA 1998 makes the European Convention on Human Rights (the Convention) directly applicable to the actions of public bodies in England and Wales. The specific parts of the Convention relevant to planning matters are Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

Article 6 deals with procedural fairness. If normal committee procedures are followed, it is unlikely that this article will be breached.

Article 1 of the First Protocol and Article 8 are not absolute rights and infringements of these rights protected under these are allowed in certain defined circumstances, for example where required by law. However any infringement must be proportionate, which means it must achieve a fair balance between the public interest and the private interest infringed and must not go beyond what is needed to achieve its objective.

Article 14 states that the rights under the Convention shall be secured without discrimination on grounds of 'sex, race, colour, language, religion, political or other opinion, national or social origin, association with a national minority, property, birth or other status'.

9. Observations of the Director of Finance

10. CONCLUSION

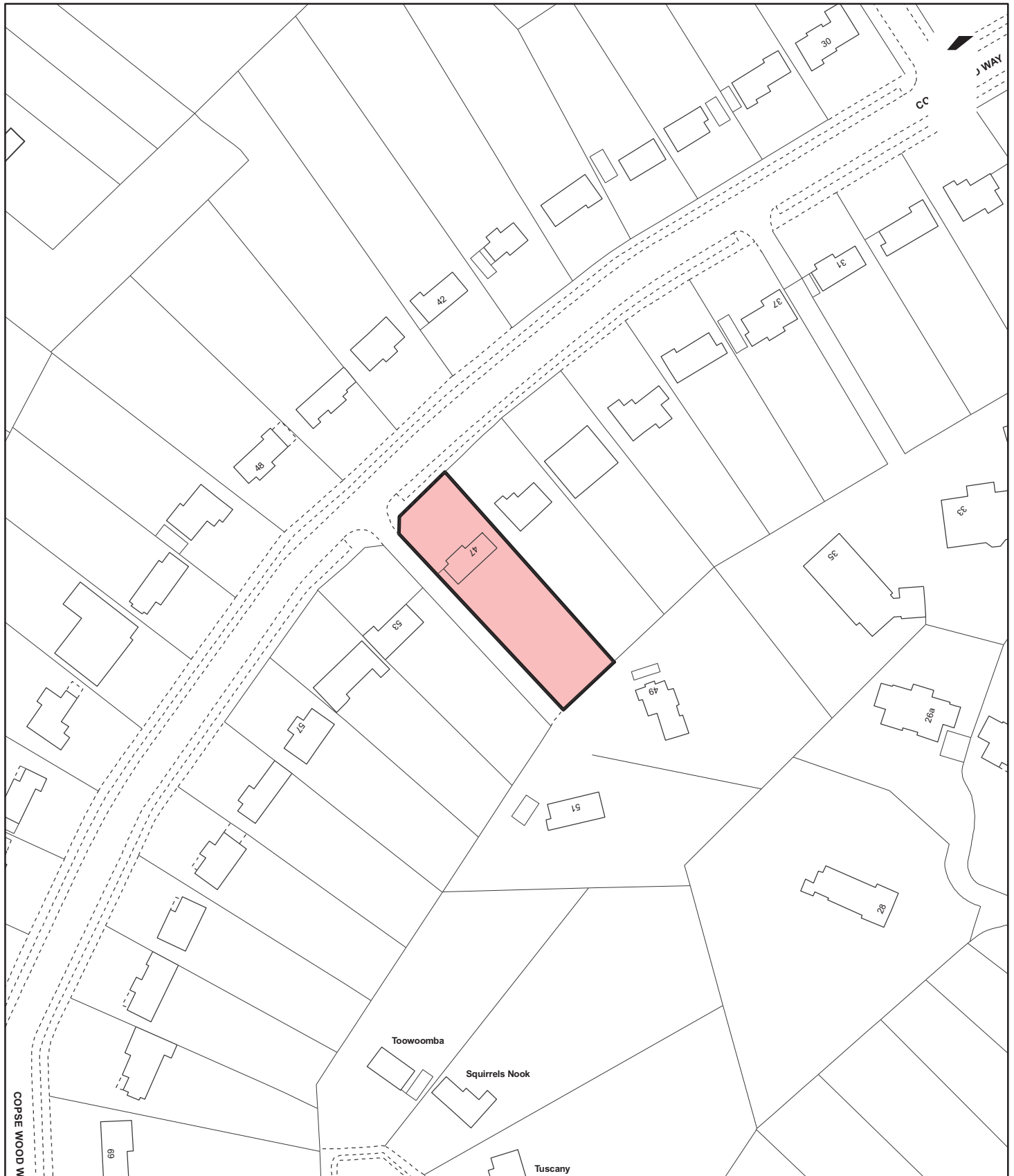
On the basis of the bulk, massing and scale of the proposed house in relation to its plot and its surroundings it is recommended that the application be refused.

11. Reference Documents

Hillingdon Unitary Development Plan (Saved Policies September 2007).
HDAS: Residential Layouts
PPS3: Housing
London Plan (2011)

Contact Officer: Warren Pierson

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**47 Copse Wood Way,
 Northwood**

Planning Application Ref:

18371/APP/2011/1271

Planning Committee

North Page 114

Scale

1:1,250

Date

**September
 2011**

**LONDON BOROUGH
 OF HILLINGDON**
 Planning,
 Environment, Education
 & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



HILLINGDON
 LONDON

Report of the Head of Planning & Enforcement Services

Address 12 KEWFERRY ROAD NORTHWOOD

Development: Single storey front extension.

LBH Ref Nos: 33988/APP/2011/684

Drawing Nos: KEW/02
Location Plan to Scale 1:1250
KEW/01

Date Plans Received: 18/03/2011 **Date(s) of Amendment(s):**

Date Application Valid: 21/03/2011

DEFERRED ON 25th August 2011 FOR SITE VISIT ON

This application was deferred from the Committee of the 25th August for a site visit.

1. CONSIDERATIONS

1.1 Site and Locality

The application site is located within a residential area of Northwood comprising a variety of substantial two storey detached dwellings of pre and inter war design and more modern apartment buildings. The application site is located on the east side of Kewferry Road at its junction with Harrison Close and is bordered by a substantial two storey detached dwelling to the south and faces two storey detached dwellings to the west. The Holy Trinity COE Primary School is located to the southwest.

The application site comprises an attractive two storey detached dwelling of traditional design and features a hipped roof, front two storey gable and a more recent side double garage addition. The property includes front and rear gardens with a 1.8 metre high hedgerow along the front elevation with mature tree planting and hedgerows along the side and rear boundaries. The dwelling is faced with red brick to the ground floor, with white render and red clay roof tiles. The existing front porch is modest in size, open sided and an attractive feature in its own right, consisting of a flat roof, two plain arches with three decoratively unadorned pillars.

1.2 Proposed Scheme

This planning application proposes the construction of a single storey front extension to form WC/ shower room and porch. The proposed single storey hipped roof extension would measure 4.9 metres in length by 1.5 metres in depth and would extend to 3.5 metres in height and would be faced with materials to match the existing dwelling.

1.3 Relevant Planning History

33988/83/1570 12 Kewferry Road Northwood
Householder development - residential extension(P)

Decision Date: 23-12-1983 **Approved** **Appeal:**

Comment on Planning History

None.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

12 neighbouring occupiers and the Northwood Residents Association were notified of the planning application. However, no responses have been received regarding the proposed development.

The Councils Trees and Landscape Officer has not raised any objections to the proposed scheme as it would be far enough away to not affect any trees.

Ward Councillor: Requests that the application is considered by the North Planning committee.

4. UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

Part 2 Policies:

- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- AM14 New development and car parking standards.
- HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

5. MAIN PLANNING ISSUES

Policies BE13 and BE15 of the UDP seek to ensure that development harmonise with the character of the surrounding properties and streetscene, and in particular the scale, form, architectural composition and proportions of the original building. Policy BE19 further requires that development should complement and improve the amenity of the residential area.

Design and Impact on Character and Appearance of the House and the surrounding Area:

Paragraph 8.1 of Hillingdon' adopted HDAS: Residential Extensions Supplementary Planning Document states "The Council is very explicit with regard to its position on front extensions. Front extensions that extend across the entire frontage will normally be refused. Front extensions are eye catching and change the face of the building. They not only change the character and appearance of the building itself, but also the street."

Paragraph 8.2 of Hillingdon's adopted HDAS: Residential Extensions Supplementary Planning Document is also relevant to this application and it states "porches should generally be confined to the front entrance area and in the case of being combined with a garage they may be integrated with a forward extension of the garage not exceeding 1 metre."

The proposed single storey front extension would project out an additional 1.5 metres beyond the existing recessed section of the front wall of the dwelling with the effect that it would sit forward of the presently recessed element of the front elevation of the house. The proposed extension would also sit 300mm forward of the projecting 2 storey gabled section of the front elevation of the house, although not forward of the projecting two storey front hexagonal bay window.

A comparable application for a proposed front extension embracing a porch set within an existing recess to the side of the front gable to a detached dwelling was submitted to the Council at 27 The Drive, Northwood. The application was refused by the Council on 15 April 2009 and an appeal (APP/R5510/A/09/2107546) was dismissed by the Planning Inspectorate on 12 June 2009. The Inspector shared the Council's concerns and stated the extension would disturb the distinctive character of the dwelling and materially detract from its appearance. The applicant drew the Inspector's attention to other front extensions on the street. The Inspector in turn stated these extensions in almost all cases respected the integrity of the original design and added "The exceptions to this rule show how the absence of good design could put the overall visual quality of the street at risk".

The proposed front extension will extend across the full width of the existing recessed section of the front elevation of the house, would also project forward of the remaining more forward projecting section of the front elevation of the house and would project greater than 1 metre in depth and accordingly for all these reasons it is considered that it would be a visually intrusive and unsympathetic addition to the property, that would be detrimental to the character of the property and the wider character of the street contrary to paragraphs 8.1 and 8.2 of Hillingdon's adopted HDAS: Residential Extensions Supplementary Planning Document and Policies BE13, BE15 and BE19 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Impact on Amenity of Neighbouring Occupiers:

Policy BE21 of the UDP states that residential extensions will not be permitted where by way of their siting, scale and proximity, would result in the significant loss of residential

amenity. Policy BE24 states that development should protect the privacy of the occupiers and their neighbours.

The proposed front extension would only extend out 1.5 metres and be 3.5 metres in height. Given the distance to other neighbouring property to the side no. 10 Kewferry Road and the dwellings on the opposite side of Kewferry Road, and given its small scale, it is considered that the proposed extension would not cause any harm to the outlook, privacy and daylight of the adjacent dwellings.

Having regard to the above, it is considered that the proposed extension would not result in any significant harm to the amenity of neighbouring occupiers and would be in accordance with policies BE21 and BE24 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

Parking Provision and Highway Safety:

Policy AM14 of the UDP requires that all development provide appropriate level of parking provision.

The site includes a double side garage which would remain unaltered by the proposed scheme. The proposal would retain at least two parking spaces in accordance with the adopted parking standards set out in Annex 1 of the UDP, which requires two parking spaces for all dwellings.

Given the above and that there would not be any alteration to the highway access or significant alterations to the use of the property, it is considered that there would be no significant harm caused to highway safety, and that the proposal would accord with policy AM14 of the Hillingdon Unitary Development Plan Saved Policies (September 2007).

6. **RECOMMENDATION**

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed single storey front extension, by reason of its siting, size, height and design, would be detrimental to the character and architectural composition of the original house and would detract from the character and appearance of the street scene and the visual amenities of the surrounding area. The proposal is therefore contrary to policies BE13, BE15 and BE19 of the adopted Hillingdon Unitary Development Plan (Saved Policies, September 2007) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

INFORMATIVES

Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council

policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

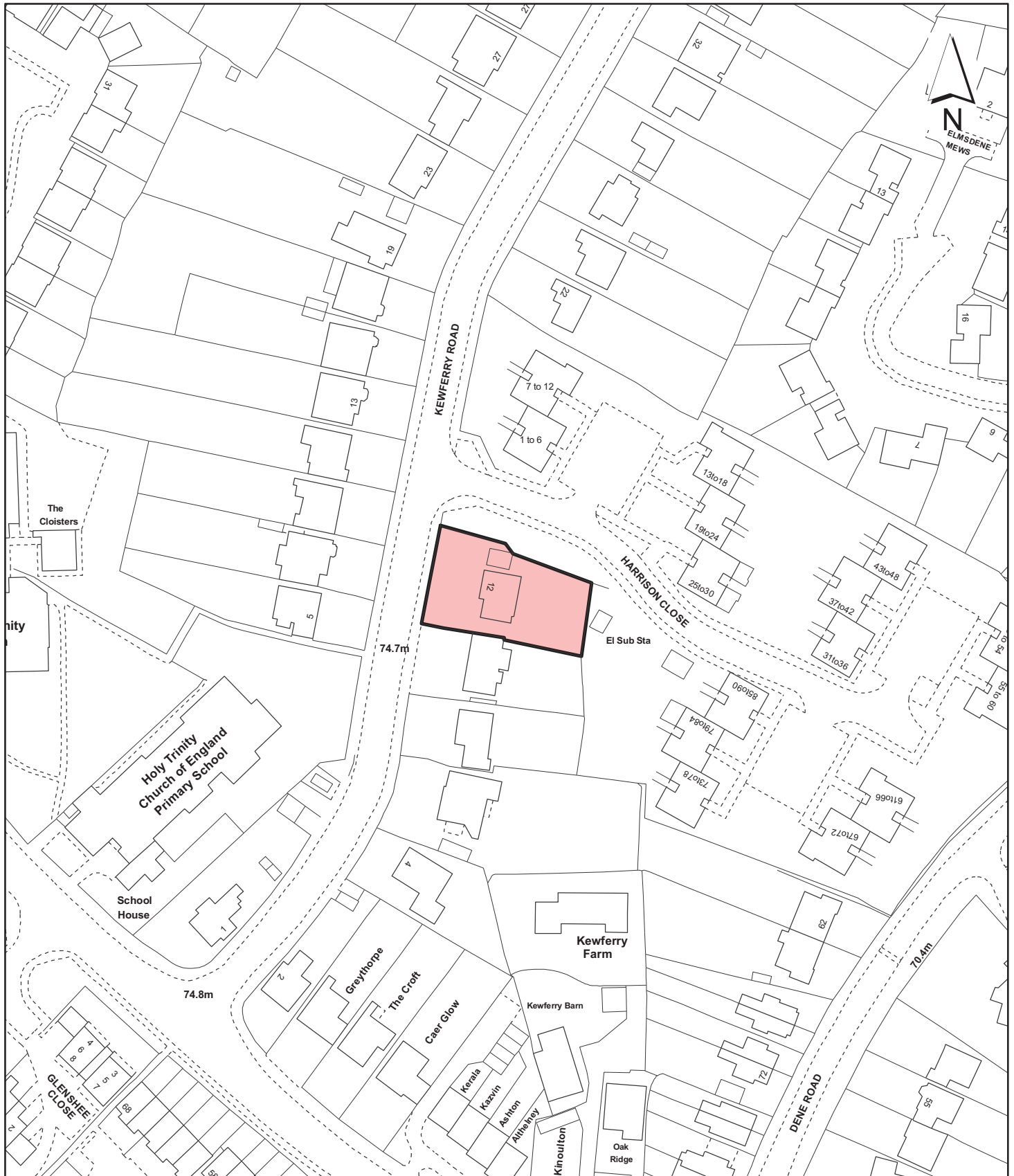
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) set out below, and to all relevant material considerations, including Supplementary Planning Guidance:

Policy No.

BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
AM14	New development and car parking standards.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

Contact Officer: Gareth Gwynne

Telephone No: 01895 250230



Notes

 Site boundary

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Site Address

**12 Kewferry Road
 Northwood**

Planning Application Ref:

33988/APP/2011/684

Planning Committee

North Page 120

Scale

1:1,250

Date

**August
 2011**

**LONDON BOROUGH
 OF HILLINGDON**
 Planning,
 Environment, Education
 & Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
 Telephone No.: Uxbridge 250111



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Plans for North Planning Committee

15th September 2011



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LONDON



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Page 131

Report of the Head of Planning & Enforcement Services

Address SOUTH RUISLIP EARLY YEARS CENTRE- PLOT 2 ACOL CRESCENT
RUISLIP

Development: Erection of a part two, part three storey block comprising 7, one-bedroom and 5, two-bedroom flats, together with associated car parking and landscaping (involving demolition of existing buildings).

LBH Ref Nos: 67607/APP/2011/1122

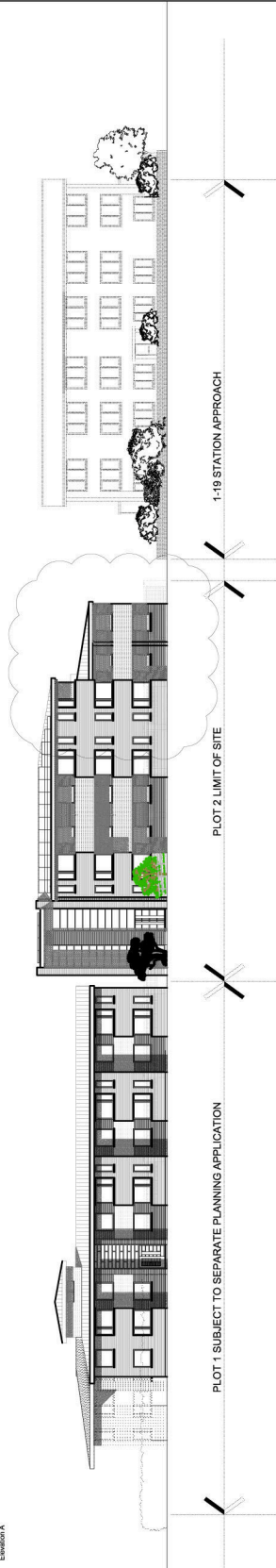
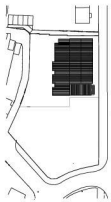
Date Plans Received: 05/05/2011

Date(s) of Amendment(s):

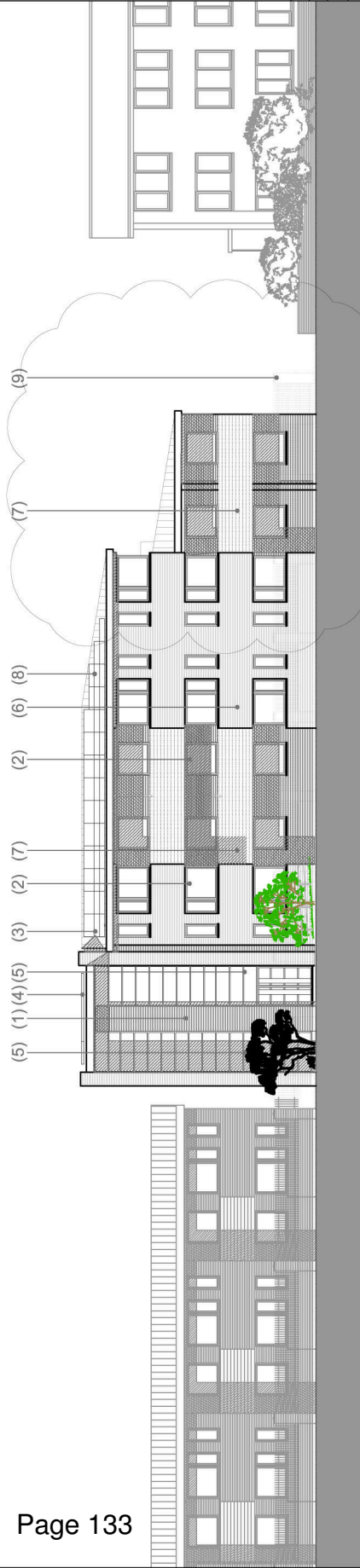
Date Application Valid: 05/05/2011

NOTES

The Contractor must verify all dimensions at the site before starting out. If any discrepancy is found, the Contractor must refer to the original drawings and specifications to the Contract and advise the Architect immediately. DO NOT SCALE FROM THIS DRAWING



STREET SCENE FRONT ELEVATION - 1:400@A3



ELEVATION A - 1:200@A3

KEY

- (1) Tiled/Mosaic face to brick/block, colour: red at base gently blending to orange at head.
- (2) Aluminium/Timber composite windows, fully reversible for internal cleaning).
- (3) Zinc standing seam roof.
- (4) Indicative PV array on flat zinc standing seam roof.
- (5) Timber entrance screen glazing, with integrated canopy and door side inset with post boxes
- (6) Fair faced brick lbstock 'Tradesman Light' or similar) with 10mm recess mortar joint.
- (7) Timber balcony (Kebony or similar).
- (8) Indicative PV to roof.
- (9) Brick wall and railings to frontage (shown dotted to show elevation behind)

Rev	Revision notes	Issues	Date
C	Second floor 2 bedroom flat and 1 bedroom flat turned to 2 bed flat, roof extended.	db	01/08/11
B	Second floor 2 bedroom flat changed to 1 bedroom flat	jd	11/07/11
A	Roof gable revised to hip to allow more light into neighbouring site	db	20/06/11

HILLINGDON
LONDON

CORPORATE LANDROB - FEES
4N/12, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 250 111

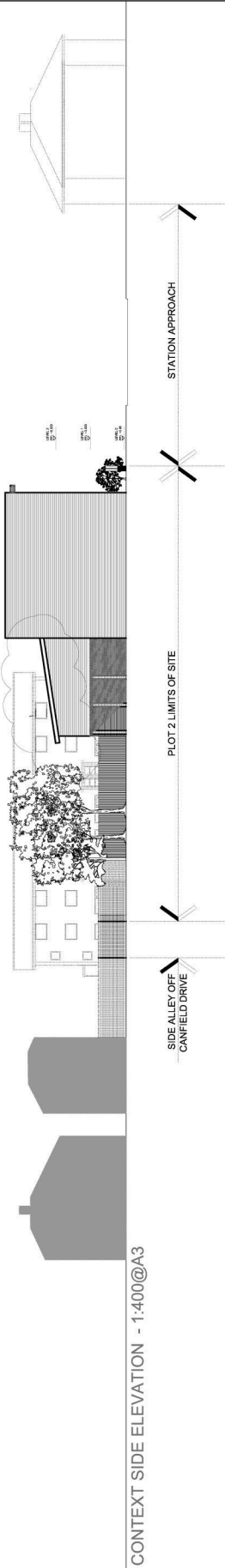
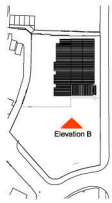
PROJECT
ACOL CRESCENT PLOT 2
PRIVATE HOUSING

ISSUED FOR
ACOL CRESCENT PLOT 2
FRONT ELEVATION A

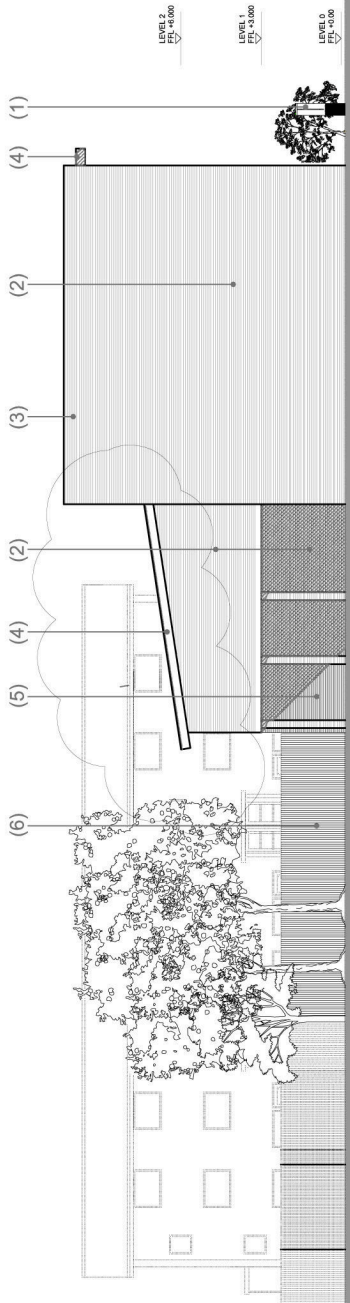
DATE	25/04/11
BY	AS SHOWN@A3
CHECKED BY	
REV	C

NOTES

The Contractor must verify all dimensions at the site before starting out. All dimensions are given in millimetres unless otherwise stated. Any discrepancies must be reported to the Contractor immediately. All dimensions are to be taken from the centre of the wall unless otherwise stated. DO NOT SCALE FROM THIS DRAWING



CONTEXT SIDE ELEVATION - 1:400@A3



SIDE ELEVATION B - 1:200@A3

KEY

- (1) Brick wall and railings to frontage.
- (2) Fair faced brick lbstock 'Tradesman Light' or similar) with 10mm recess mortar joint.
- (3) Indicative PV to roof on zinc standing seam flat roof beyond.
- (4) Zinc standing seam roof (flat roof to stair block).
- (5) Undercroft.
- (6) 2m high close board timber fence to boundary.

Rev	Revision notes	Issue	Date
A	Issue for review		11/02/11

HILLINGDON
LONDON

CORPORATE LANDROB - PEECS
4N/72, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 250 111

PRODUCT
B
PRIVATE HOUSING

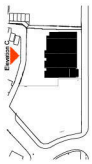
PROJECT
ACOL CRESCENT PLOT 2
SIDE ELEVATION B

DESIGNED BY JAS SHOWN@A3	CHECKED BY JAS	DATE 28-04-11
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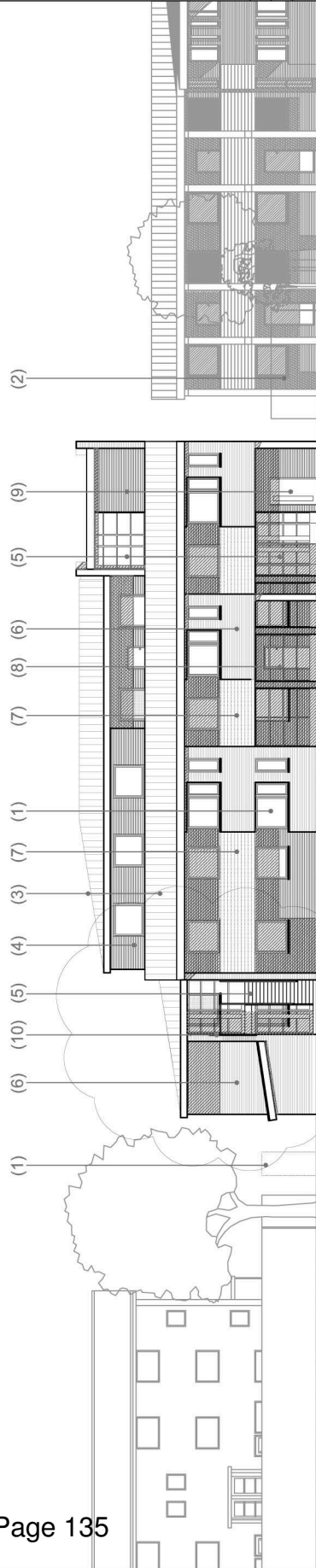
2011/D1/P2/07
A

NOTES

The Contractor must verify all dimensions at the site before starting out. All dimensions are given in millimetres unless otherwise stated. Any discrepancies must be reported to the Contractor immediately. The Contractor is responsible for any discrepancies. DO NOT SCALE FROM THIS DRAWING



LONG REAR ELEVATION - 1:400@A3



REAR ELEVATION C - 1:200@A3

- KEY**
- (1) 2m high close board fence to boundary (and at private garden shown dotted for elevation clarity).
 - (2) Aluminium/Timber composite windows (dark gray) with obscured glass to bathroom windows.
 - (3) Zinc standing seam roof.
 - (4) Timber front doors.
 - (5) Open stairs.
 - (6) Fair faced brick 'Ibstock Tradesman Light' or similar with 10mm recess mortar joint.
 - (7) Timber balcony (Kebony or similar).
 - (8) Timber glazed screen to undercroft.
 - (9) Security door to bike store.
 - (10) PPC Aluminium vertical louvres angled to avoid overlooking from stairs.

Rev	Revision notes	Issues	Date
C	Second floor 1 bed fill removed and 2 bedroom fill created, stairs revised for first floor only.	db	01/08/11
B	Second floor 2 bedroom fill changed to 1 bedroom floor stairs revised and roof removed, and side wall lowered, garage below stairs added. floor changed from stable to tip.	pf	11/07/11
A		db	30/06/11

HILLINGDON
LONDON

CORPORATE LANDROB - PEECS
4N/72, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01893 200 111

PROJECT
ACOL CRESCENT PLOT 2
PRIVATE HOUSING

PROPOSAL
ACOL CRESCENT PLOT 2
REAR ELEVATION C




NO.	DATE	BY	CHECKED BY	REVISION
25-04-11		AS SHOWN@A3		

2011/D/1/P2/08

NOTES

The Contractor must verify all connections at the before starting out. All connections must be made in accordance with the relevant standards. Any discrepancies must be reported to the Contractor immediately. The Contractor is responsible for any discrepancies. DO NOT SCALE FROM THIS DRAWING

TREE KEY

-  Existing Tree
-  Existing Tree Removed
-  Proposed Tree

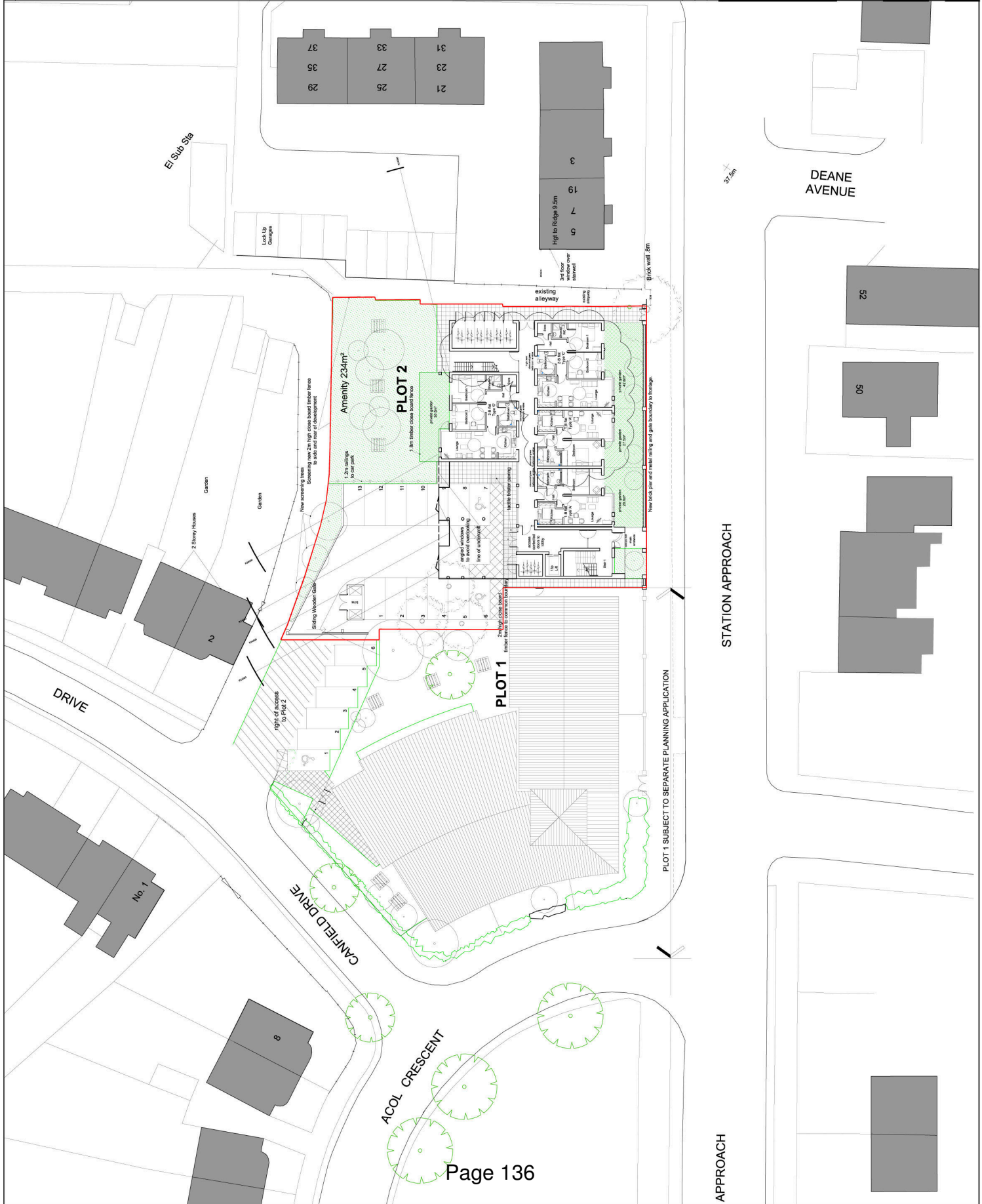
ACCOMMODATION SCHEDULE

1-B FLATS Type A' 50.8m² 7No
 2-B FLATS Type C' 74.7m² 4No
 2-B FLAT Type C' 102.6m² 1No
TOTAL 12No

2 Nos Type A flats are designed for wheelchair accessibility.


TOTAL AMENITY 234.0m²
 (excluding private gardens and balconies)

TOTAL SITE AREA 1325.0m²
 0.1325 hectares



STATION APPROACH

APPROACH

 <p>HILLINGDON LONDON</p> <p>CORPORATE LANDLORD - PEZES 4N/12, CIVIC CENTRE, URBIDGE, MIDDLESEX, URB. LUW 141: 01895 250 111</p>	
<p>PROJECT ACOL CRESCENT PLOT 2</p>	
<p>PROPOSAL PROPOSED SITE PLAN & GROUND FLOOR PLAN</p>	
<p>DATE 12/00/A1</p>	<p>CHECKED BY DB</p>
<p>DATE 26.04.11</p>	<p>REV B</p>

NOTES

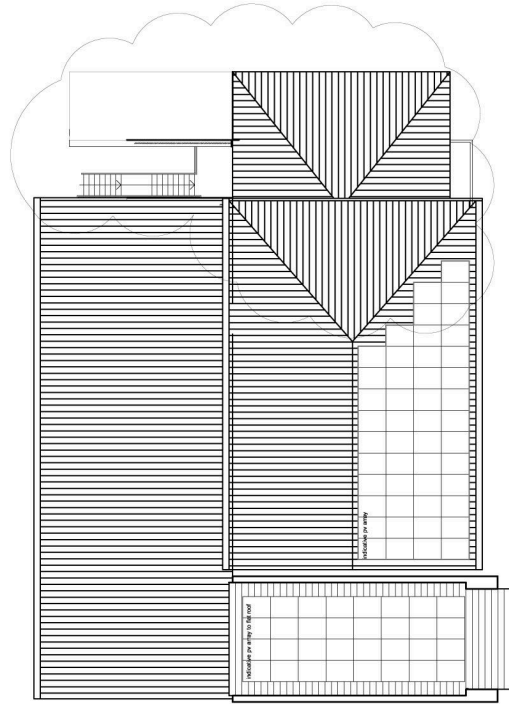
The Contractor must verify all dimensions at the site before starting out. All dimensions are to be taken from the top of the finished floor level. Any discrepancies must be reported to the Consultant immediately. The Contractor is responsible for any discrepancies. DO NOT SCALE FROM THIS DRAWING



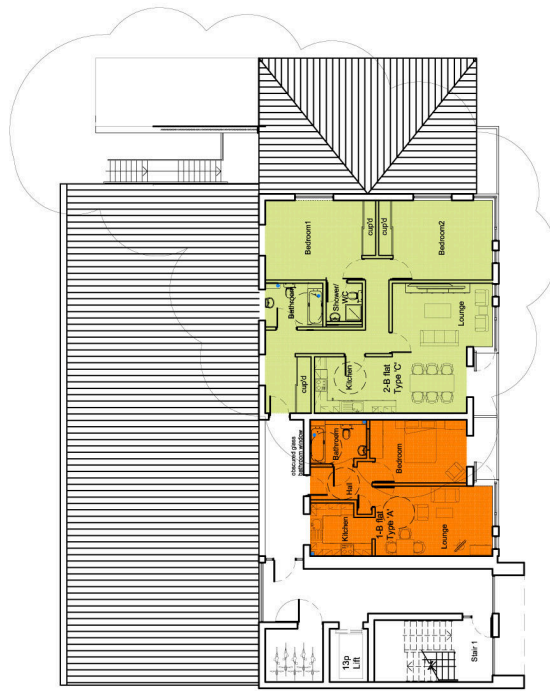
FF PLAN



GF PLAN



ROOF PLAN



2NDFLOOR PLAN

Rev	Revision notes	Issued	Date
B	1. New flat layout 1. Bed removed to 5 bed flat 2. New lounge 2 bed type. Roof revised to match revised plans	db	01.08.11
A	1. New main entrance and opened up roof revised 2. From gable to flat 2 bed flat revised to 1 bed & tandem	pl	14.07.11

HILLINGDON
LONDON

CORPORATE LANDROB - PEICES
4N/72, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 250 111

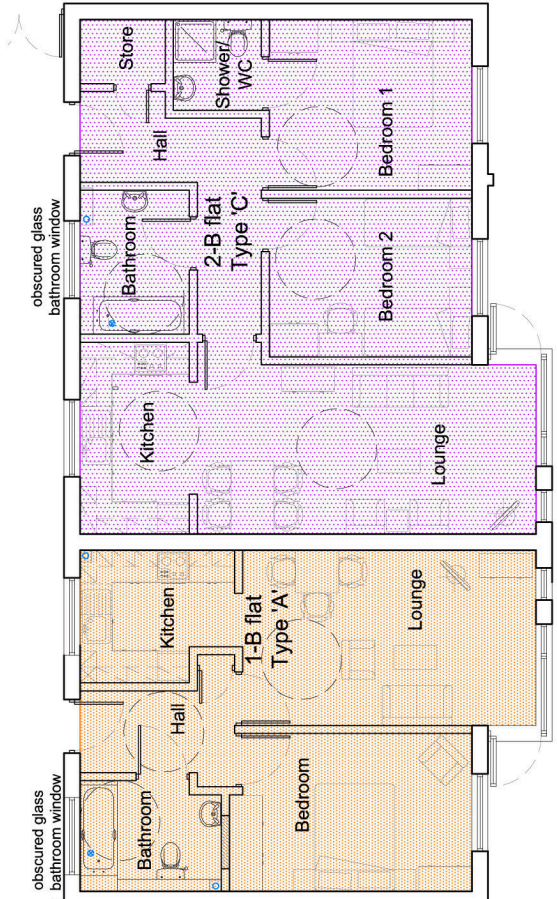
PROJECT	ACOL CRESCENT PLOT 2 PRIVATE HOUSING DEVELOPMENT
ISSUED BY	ACOL CRESCENT PLOT 2 DETAIL PLANS
DATE	1:250@A3
CHECKED BY	26/04/11
DATE	2011/D1/P2/04
REV	B

NOTES

The Contractor must verify all dimensions at the site before starting out. If any discrepancy is found, the Contractor must refer to the original drawings and measurements to the Contract Documents for clarification. DO NOT SCALE FROM THIS DRAWING



LARGE 2 BED FLAT



TYPICAL 1 & 2 BED FLAT

Rev	Revision notes	Issued	Date
A	Large 2 bed flat added		10/08/11

HILLINGDON
LONDON

CORPORATE LANDROB - PIECES
4N/72, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 250 111

PROJECT
ACOL CRESCENT PLOT 2
PRIVATE HOUSING

DESCRIPTION
ACOL CRESCENT PLOT
DETAILS FLAT PLANS

DATE	26/04/11
CHECKED BY	
DRAWN BY	1100@A3
SCALE	

2011D1P205
A

NOTES

The Contractor must verify all connections at the job before starting out. Any discrepancy between the drawing and the site conditions must be reported to the Client immediately. The Contractor must ensure that the drawing is updated accordingly. DO NOT SCALE FROM THIS DRAWING

KEY

- EXISTING TREES
- EXISTING LAUREL BUSH
- EXISTING LEVELS

TOTAL SITE AREA = 1325.0m²
0.1325 hectares

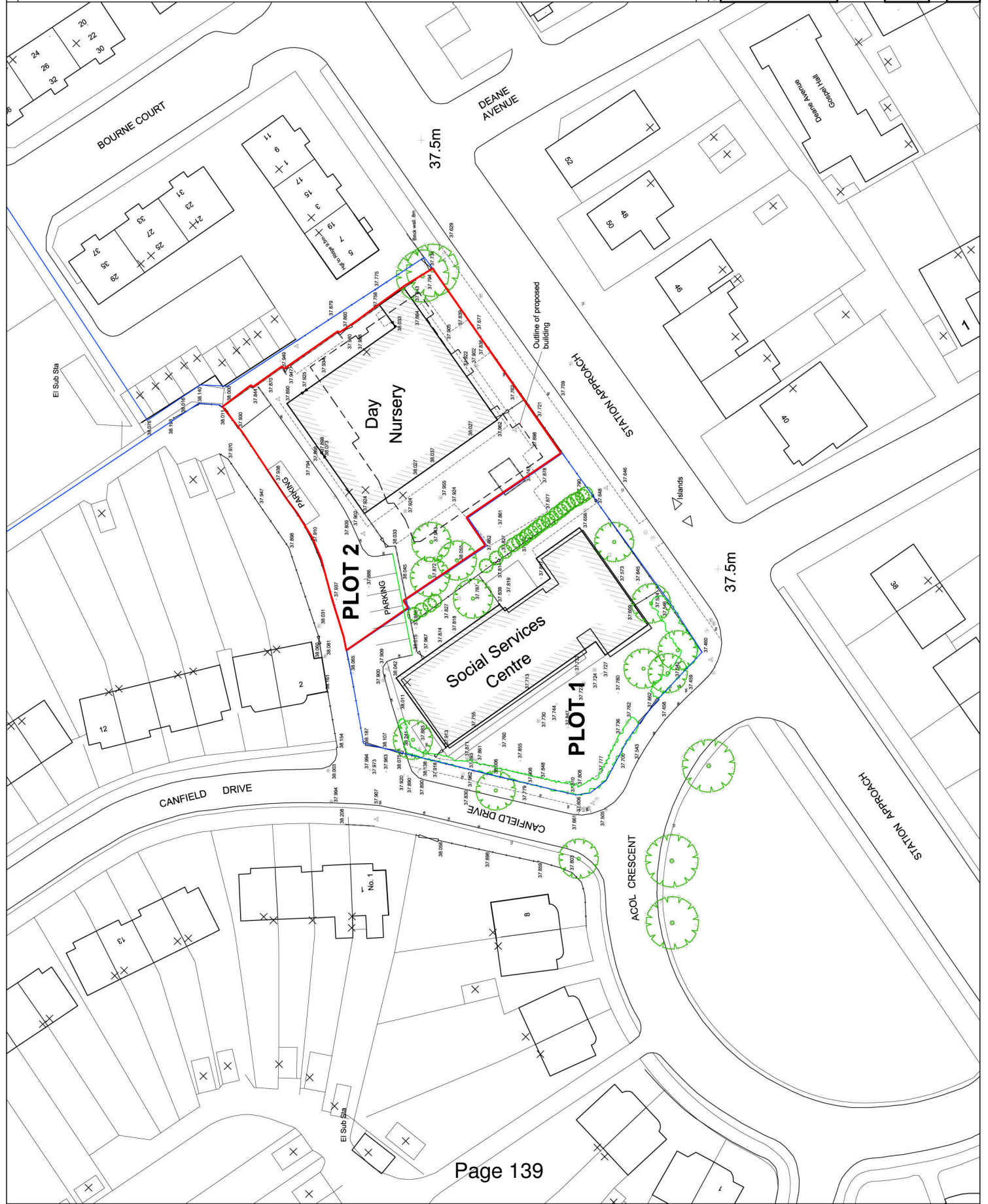
Rev	Revision notes	Issues	Date



HILLINGDON
LONDON

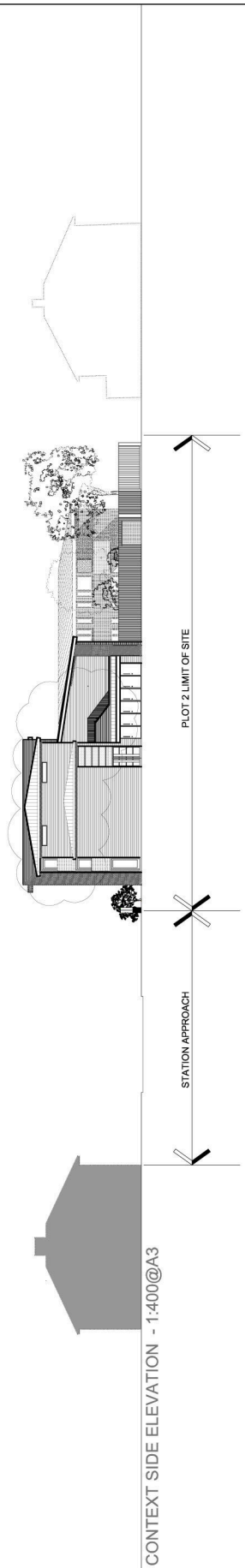
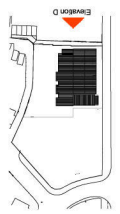
CORPORATE LANDROB - PEZES
4N/12, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 200 111

PROJECT		ACOL CRESCENT PLOT 2	
DESCRIPTION		EXISTING SITE PLAN, TOPOGRAPHICAL AND TREE SURVEY	
DATE	BY	DATE	BY
15/01/11	SV	05/01/11	SV
DRAWING NO.		2011/D1/P2/02	

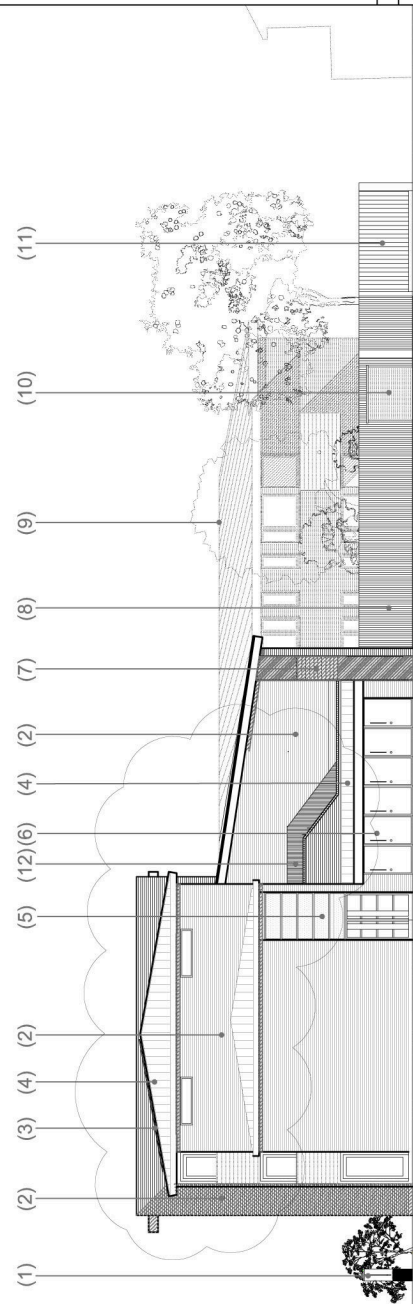


NOTES

The Contractor must verify all dimensions at the time before starting out. Dimensions are given in millimetres unless otherwise stated. Any discrepancies must be reported to the Contractor immediately. Do not scale from this drawing.



CONTEXT SIDE ELEVATION - 1:400@A3



ELEVATION D - 1:200@A3

KEY

- (1) Brick wall and railings to frontage.
- (2) Fair faced brick lbstock 'Tradesman Light' or similar with 10mm recess mortar joint.
- (3) Indicative PV to roof.
- (4) Zinc standing seam roof.
- (5) Timber side entrance screen/door glazing, glazing obscured at upper levels to prevent overlooking.
- (6) Security doors to bike store.
- (7) Timber balcony (Kebony or similar).
- (8) 2m high close board timber fence to boundary.
- (9) Elevation of Plot 1 building beyond, subject to separate planning application
- (10) Brick bin store.
- (11) Remote controlled sliding timber access gate.
- (12) PPC Aluminium louvres to staircase angled to prevent overlooking.

Rev	Description	Issue	Date
C	New 2nd floor with recessed canopy area to 1st floor only. Floor revised, high level window added.	01	01/08/11
B	Second floor 2 bedroom flat changed to 1 bedroom	01	07/07/11
A	Rear flat brick reconstruction and cut back towards building. Big roof added.	01	30/06/11

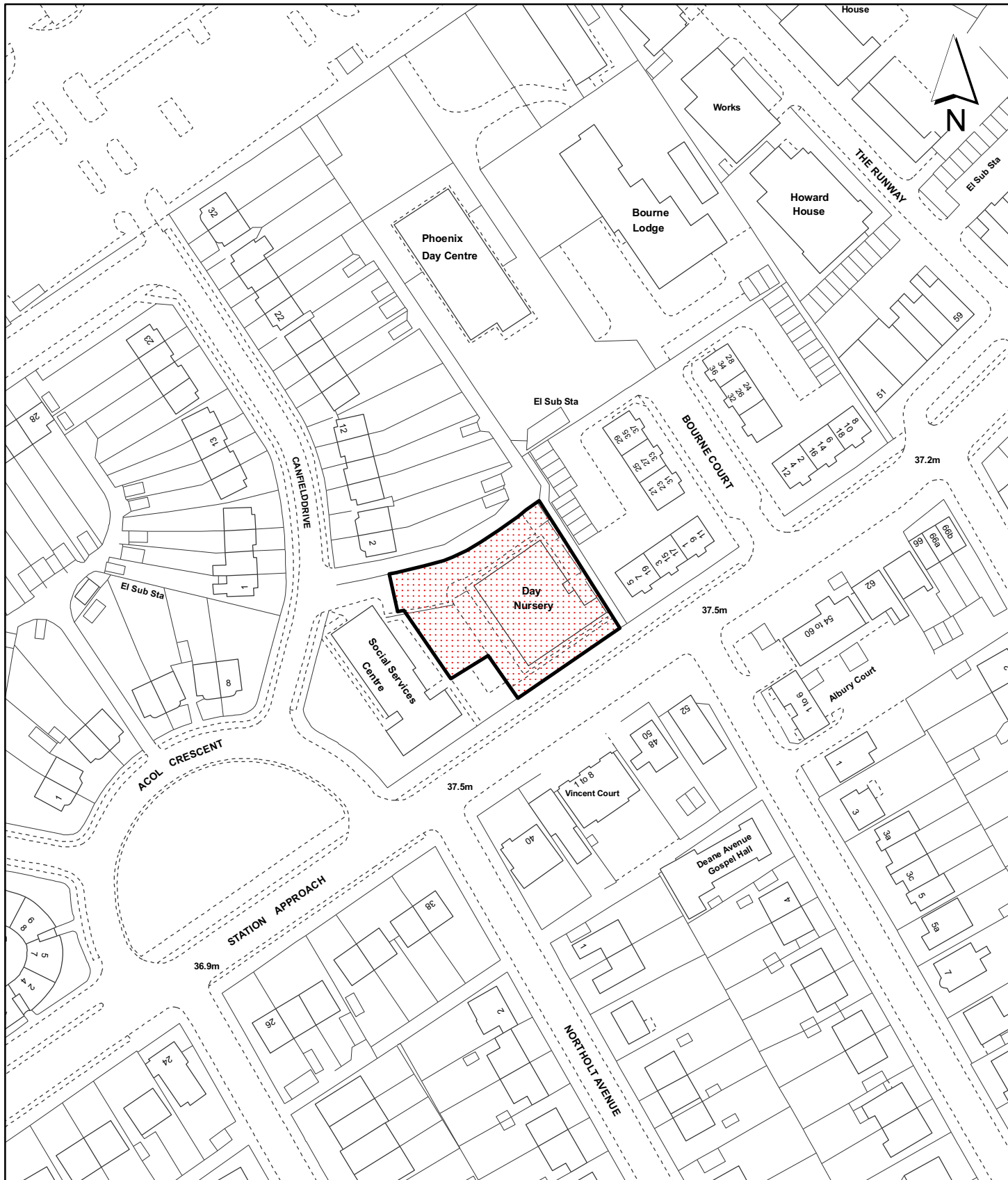
HILLINGDON
LONDON
CORPORATE LANDLORD - PECS
4N/72, CIVIC CENTRE, UXBROOK, MIDDLESEX, URB 11W
Tel: 01895 250 111

PROJECT
ACOL CRESCENT PLOT 2
PRIVATE HOUSING

ISSUED FOR
ACOL CRESCENT PLOT 2
SIDE ELEVATION D

DESIGNED BY	ISSUED BY	CHECKED BY	DATE
AS SHOWN@A3	AS SHOWN@A3	AS SHOWN@A3	26/04/11

2011/D/1/P2/09
C



Notes

 Site boundary

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Site Address

**South Ruislip Early Years -
Plot 2 Acol Crescent
Ruislip**

Planning Application Ref:

67607/APP/2011/1122

Planning Committee

North Page 141

Scale

1:1,250

Date

**August
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

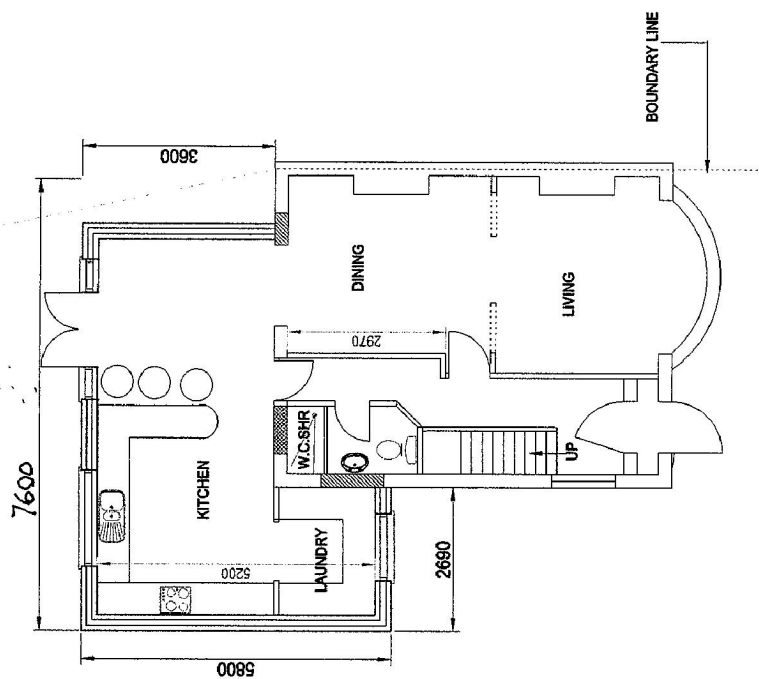
Report of the Head of Planning & Enforcement Services

Address 22 PAVILION WAY RUISLIP

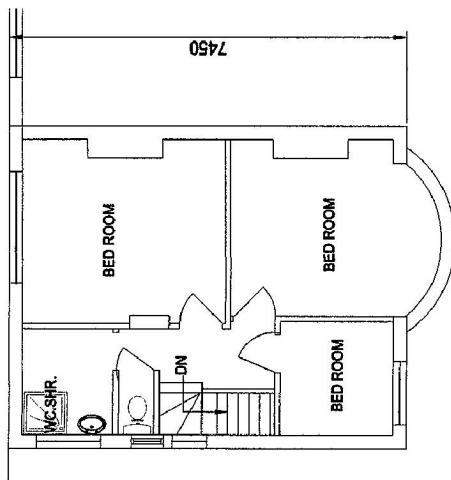
Development: Demolition of existing detached store to rear, erection of single storey side/rear extension and alteration to first floor side elevation

LBH Ref Nos: 17423/APP/2011/57

Date Plans Received:	11/01/2011	Date(s) of Amendment(s):	11/01/2011
Date Application Valid:	20/01/2011		16/08/2011



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



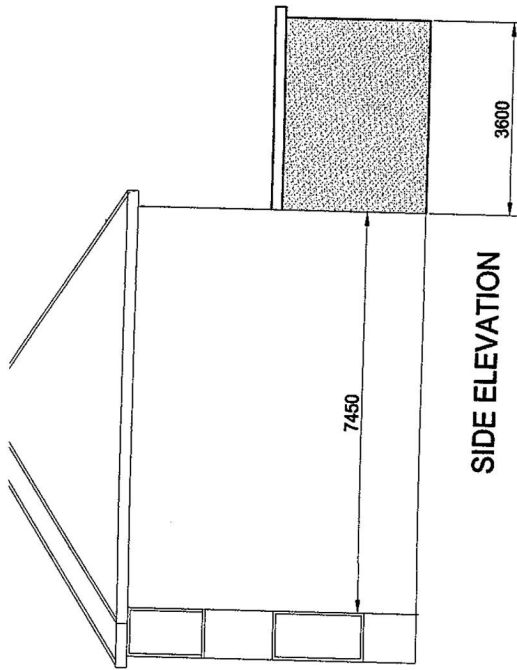
PROPOSED F.F. PLAN
SCALE 1:100

H.P.S LTD DESIGN SERVICES 1 PARADAY CLOSE SLOUGH SL2 1RL 07782424875
CLIENT MR. KWASI. A. BOATIN JOB TITLE: 22 PAVILION WAY EASTCOOTE HAM 9UN
DRAWING TITLE PROPOSED LOFT CONVERSION
LAYOUTS & FLOOR PLANS AND ELEVATIONS.
SCALE 1:100
DATE: APRIL 2010 DECEMBER 2010

1

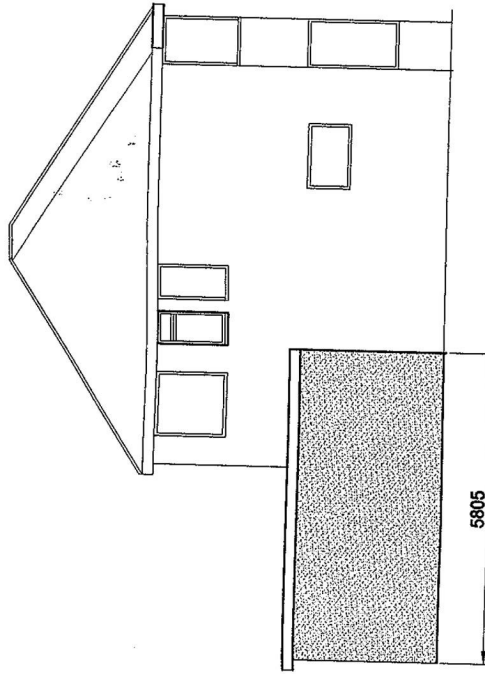
amended 6.8.2011

**AMENDED
PLAN**



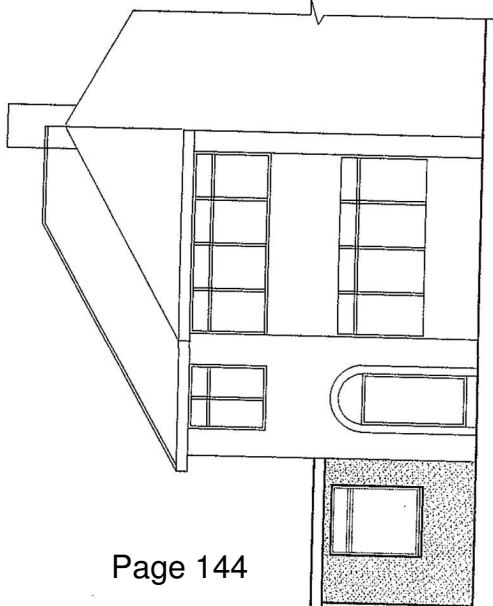
SIDE ELEVATION

3600



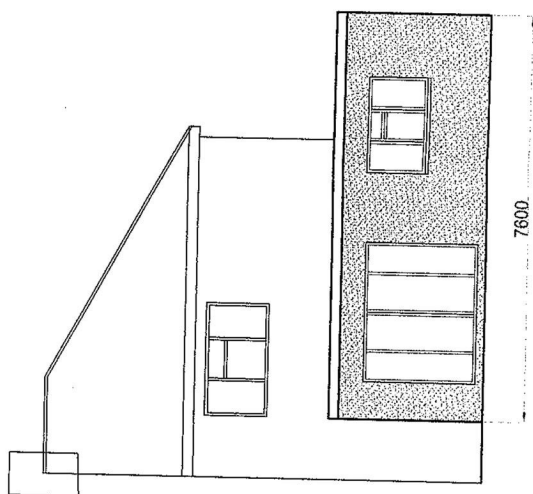
SIDE ELEVATION

5805



FRONT ELEVATION

scale 1:100



REAR ELEVATION

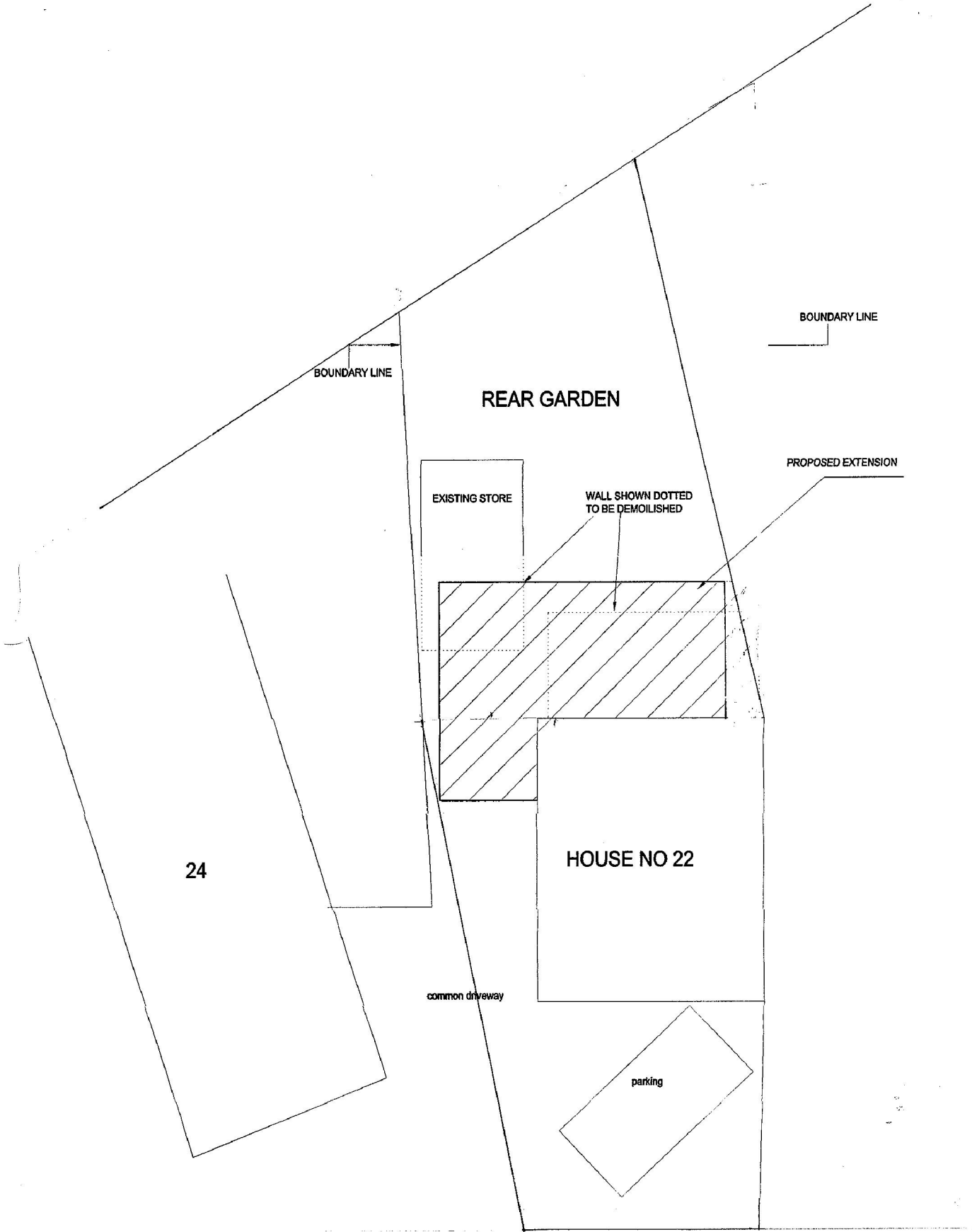
7600

PROPOSED ELEVATIONS

SCALE 1:100

- NOTES.**
1. ALL MEASUREMENTS TO BE CHECKED ON SITE.
 2. PARTY WALL (ETC) ACT 1987 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO COMMENCING WORKS.
 3. ALL WORK TO BE AGREED WITH LOCAL AUTHORITIES INSPECTOR.
 4. ALL RSJ AS PER STRUCTURAL ENGINEERS CALLS.
 5. ALL NEW POWER, ELECTRICAL INSTALLATION TO BE INSTALLED IN STRICT ACCORDANCE WITH NICE ELECTRICAL REGULATIONS AND PROVIDE CERTIFICATE ON COMPLETION.
 6. EXTRACTOR FAN TO BE INSTALLED FOR WASHROOM ROOM. CONNECTED TO LIGHT SWITCH PROVIDING MINIMUM EXTRACTING RATE OF 15 LITERS PER SECOND WITH 15 MINUTES OVER RUN.
 7. PARTY WALL TO BE DRY LINED USING 55MM THK GYPROC THERMALINE PLUS INSULATION BOARD AND SKIM.
 8. ALL NEW WINDOWS TO BE PROVIDED WITH TRICLE VENTS.
 9. 50X100 STUD PARTITION WITH 100MM THK CELOTEX GA3075 INSULATION BOARD BETWEEN STUDS CLADDED INTERNALLY USING 12MM THK CELOTEX TB3072 INSULATION BOARD AND SKIM.
 10. PLUMBING. PROVIDE 75MM DEEP SEAL TRAPS WASTE FITTINGS. SIZE OF WASTE PIPES, WASH HAND BASIN 40MM DIA. SHOWER 50MM W.C. 100MM DIA.

AMENDED PLAN



AMENDED
PLAN

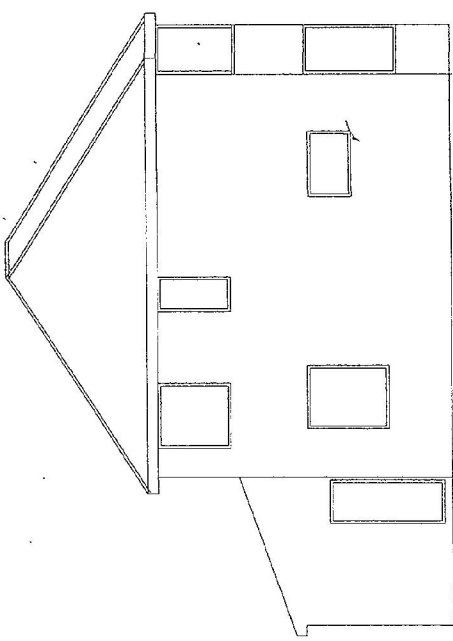
BLOCK PLAN
SCALE 1:100

Amended
8. 8. 2011.

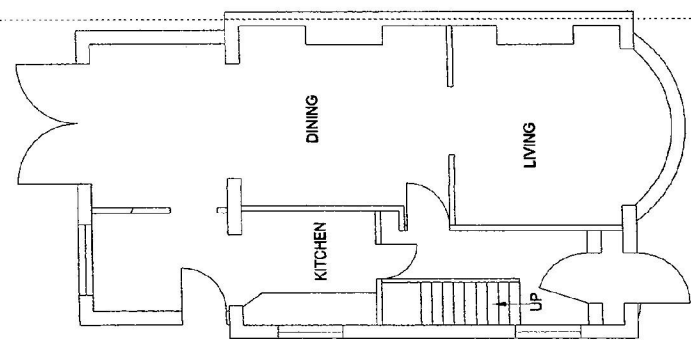
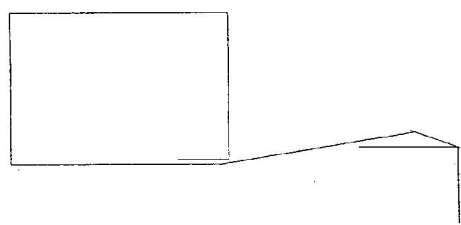
4

LBA 0077127
12 JAN 2011
PLANNING & TRANSPORTATION GROUP

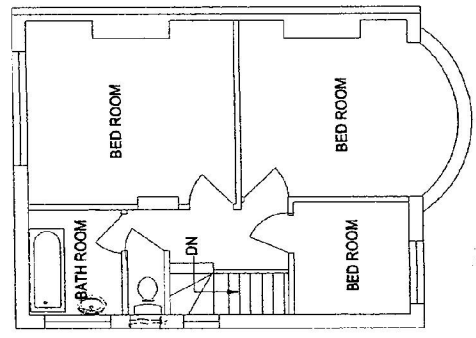
1044 PROPOSED 2010 EXHIBIT
10 JAN 2010
PLANNING & TRANSPORTATION GROUP



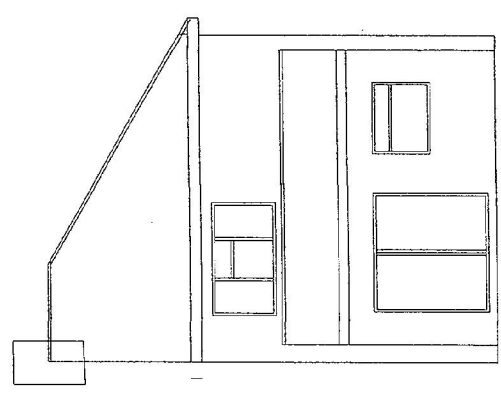
EXISTING SIDE ELEVATION SCALE 1:100



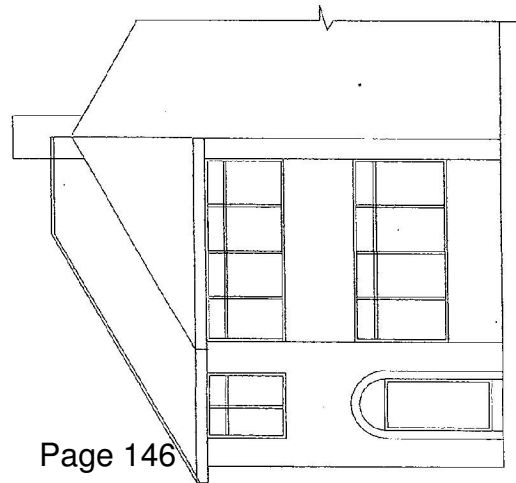
EXISTING GROUND FLOOR PLAN SCALE 1:100



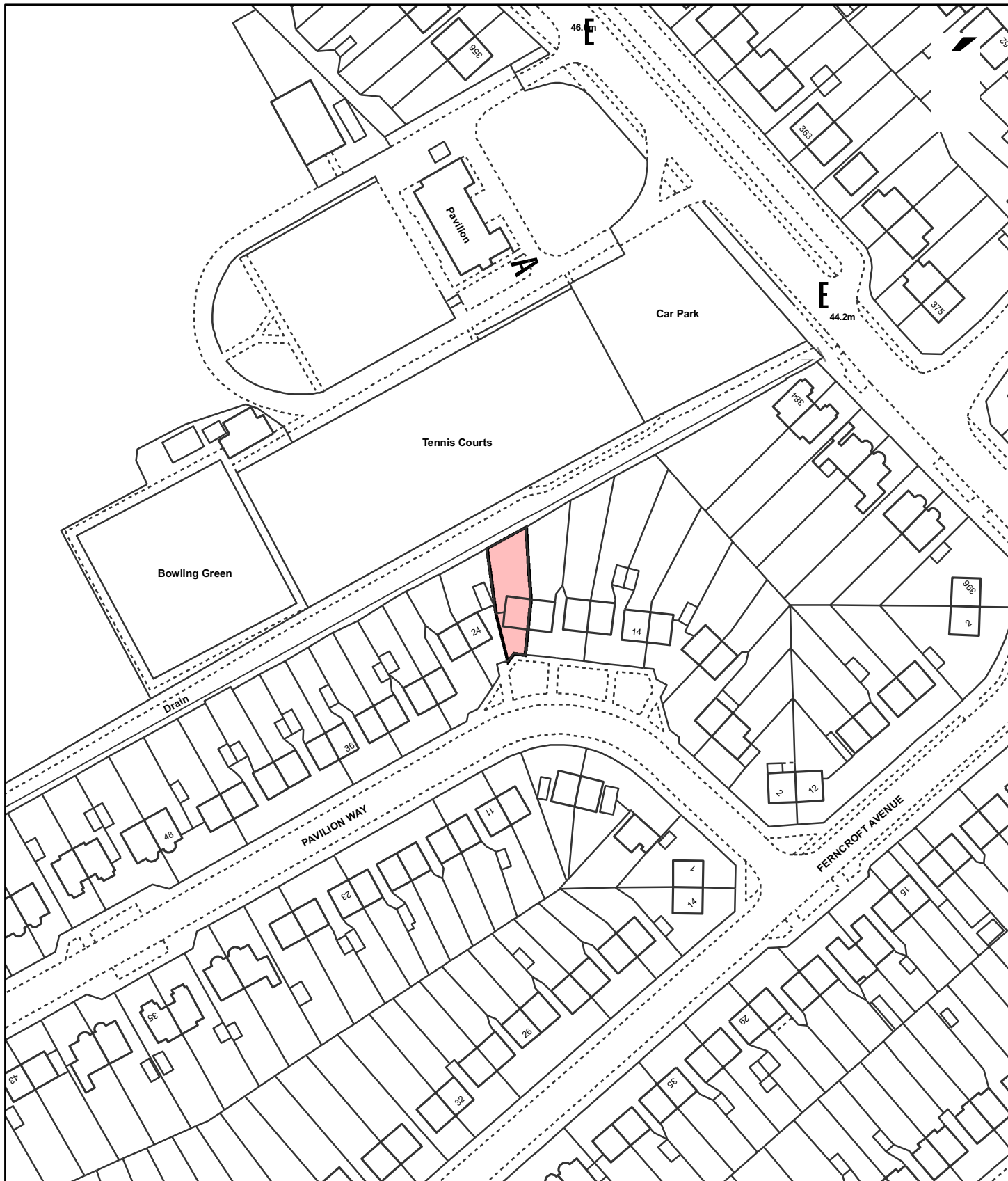
EXISTING FIRST FLOOR PLAN SCALE 1:100




EXISTING REAR ELEVATION SCALE 1:100



EXISTING FRONT ELEVATION SCALE 1:100



Notes

 Site boundary

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Site Address

**22 Pavilion Way,
Ruislip**

Planning Application Ref:
17423/APP/2011/57

Planning Committee
North Page 147

Scale
1:1,250

Date
May 2011

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address R/O 17-21 THE CLOSE EASTCOTE PINNER

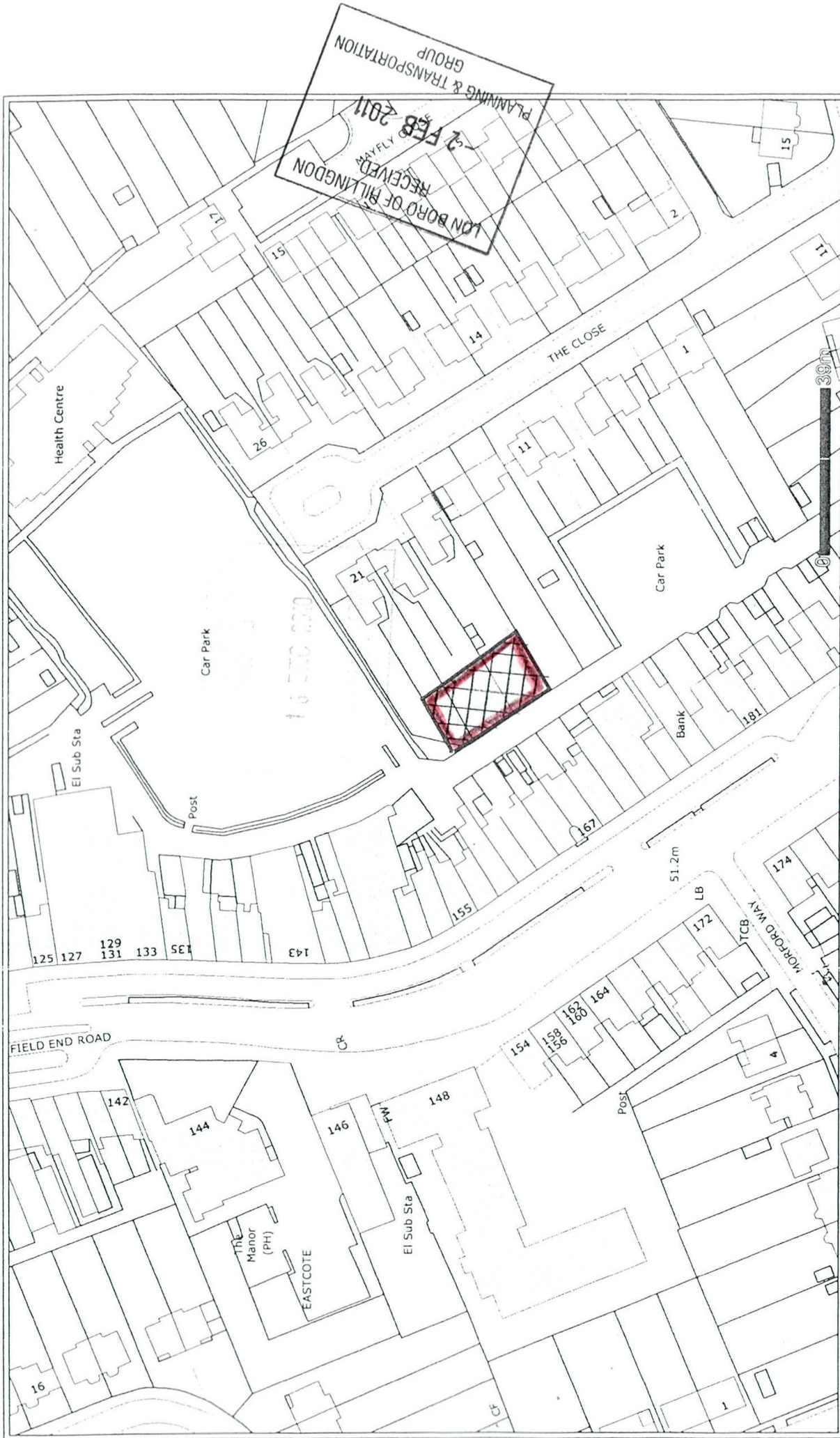
Development: Erection of a two storey detached building with additional level in roofspace for use as Class B1 Office.

LBH Ref Nos: 11448/APP/2011/238

Date Plans Received: 02/02/2011

Date(s) of Amendment(s):

Date Application Valid: 02/02/2011



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Approx. Scale: 1250
 Date of Print: 4.2.2008
 SLA: 100019283 2008

NOTES:

All dimensions must be checked on site and not scaled from this drawing.

Date	Revisions
0	Drawings to Coast View West's. Footprint expanded to Calver.
1	Drawings to Calver.
2	Drawings to Calver.
3	Drawings to Calver.
4	Drawings to Calver.
5	Drawings to Calver.
6	Drawings to Calver.
7	Drawings to Calver.
8	Drawings to Calver.
9	Drawings to Calver.
10	Drawings to Calver.
11	Drawings to Calver.
12	Drawings to Calver.
13	Drawings to Calver.
14	Drawings to Calver.
15	Drawings to Calver.
16	Drawings to Calver.
17	Drawings to Calver.
18	Drawings to Calver.
19	Drawings to Calver.
20	Drawings to Calver.

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**BUILDING DESIGN &
 MANAGEMENT SERVICES**

SUITE B
128 MANOR WAY
RUSLIP,
MIDDLESEX,
HA4 8ER

Tel: 01895 622800
 Fax: 01895 622900

Client

MR RUSSELL / MR RAWAL

Job Title

17-21 THE CLOSE
EASTCOTE
PINNER
MIDDIX

Drawing Title

PROPOSED DEVELOPMENT
 (for office use)

APPROVED FOR THE DEVELOPMENT GROUP'S RESUBMISSION
 16 DEC 2011
 17 FEB 2011

Scale 1:100

Date NOV 08 Drawn by MDP

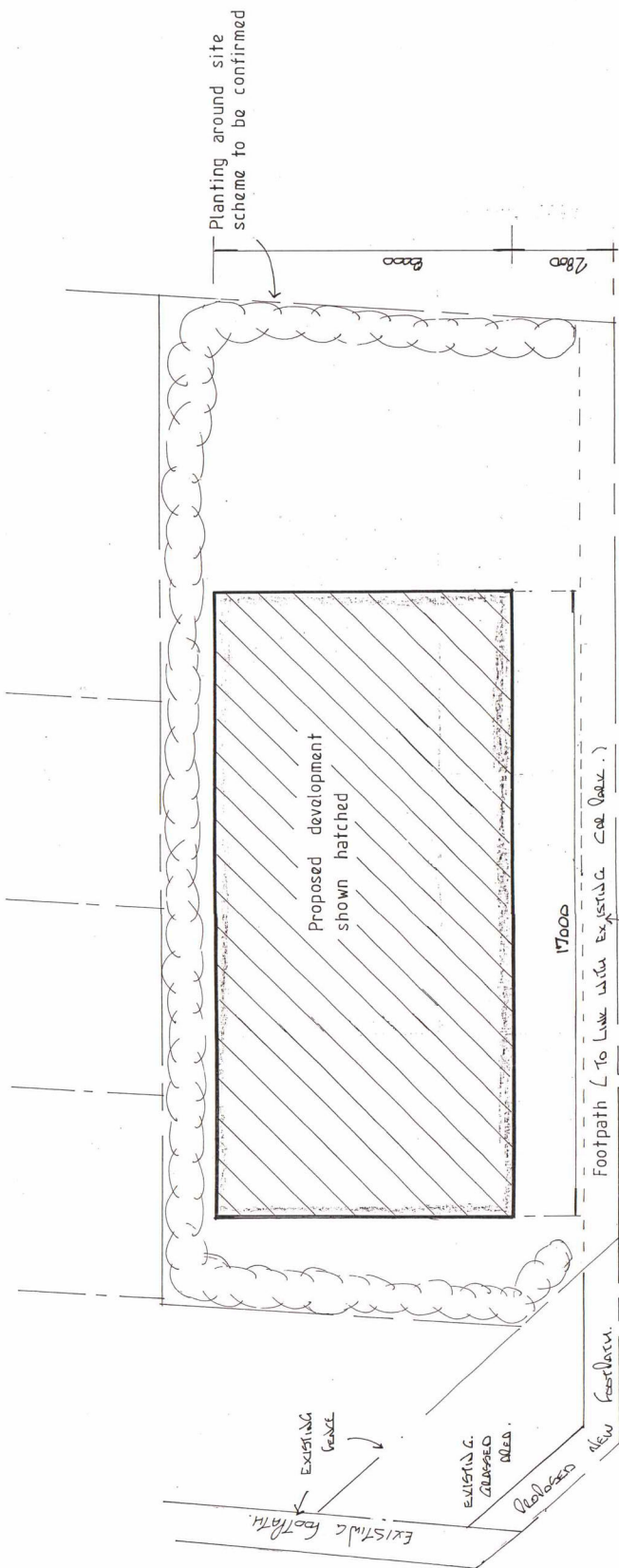
Drig No.

2479/01

Rev

A/B

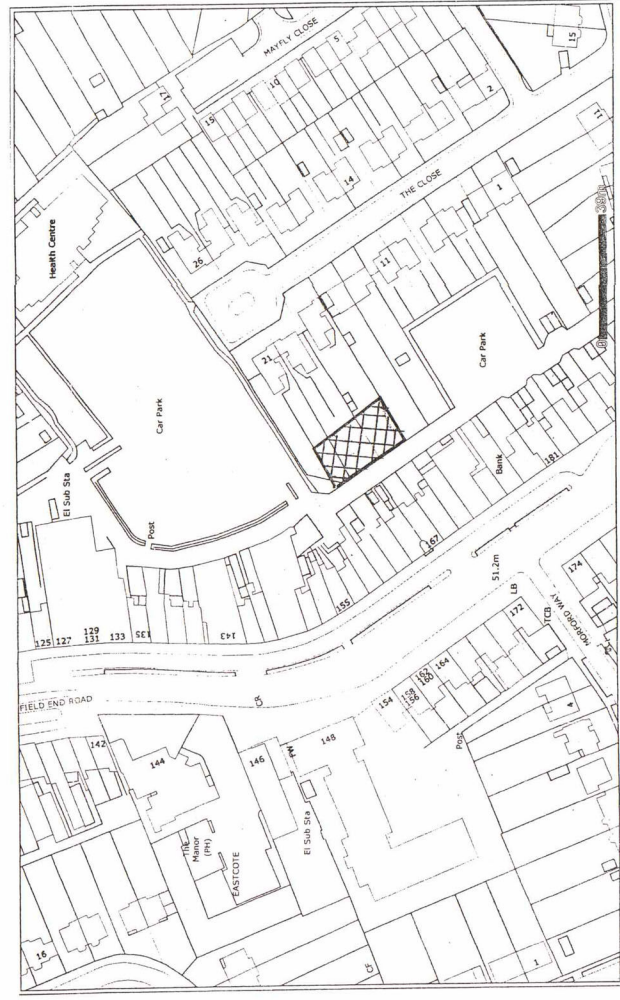
420x594mm A2



Take 1.0m off site for public footpath

SITE PLAN scale 1:100

THIS DRAWING TO BE READ IN CONJUNCTION WITH DRG NO'S 2479/02 & 03



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LOCATION PLAN scale 1:1250

NOTES:
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Do Not Scale This Drawing.

Revisions	Date	Drawn by
A		Geo to suit Planning

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BUILDING DESIGN &
MANAGEMENT SERVICES.
SUITE B,
128 MANOR WAY,
RUISLIP,
MIDDLESEX.
HA4 8HR
Tel: 01895 622800
Fax: 01895 622900

Client
MR RUSSELL / MR RAWAL

Job Title
17 - 21 THE CLOSE
EASTCOTE
MIDDX

Drawing Title
PROPOSED OFFICE
DEVELOPMENT.

Scale 1:100. S6.

Date Nov 2000 Drawn by GEL

Dwg No.	2479 / 02
Rev	a.

420x594mm A2

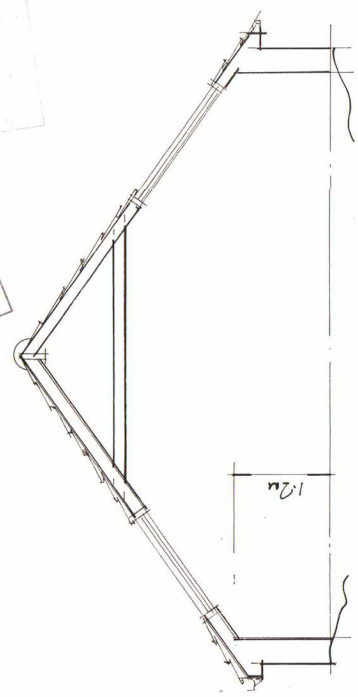
THIS DRAWING TO BE READ IN CONJUNCTION WITH DRG NO'S 2479/01c & 03

ACCESSIBLE DESIGN AREA DESIGNED IN ACCORDANCE WITH BS 6899: 2006 AND DEMONSTRATED.

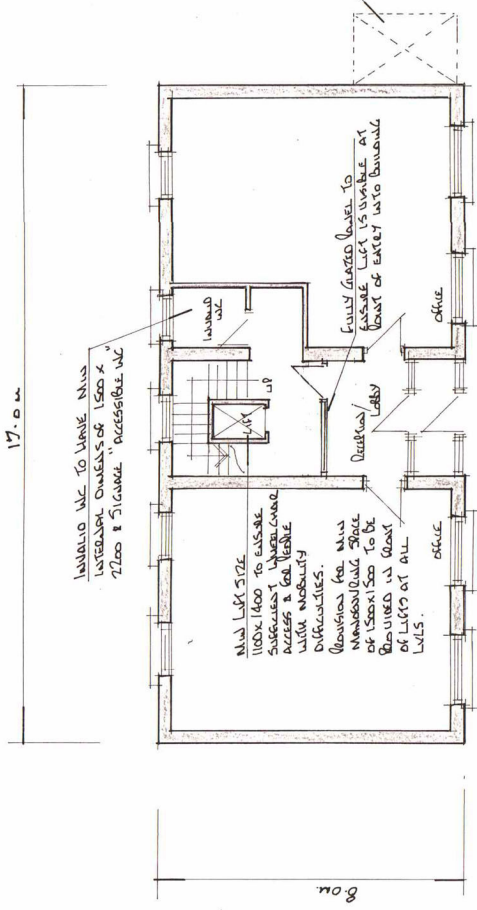
A DESIGN SHALL BE INCORPORATED FOR MENUS OF ESCAPE FOR ALL INCLUDING WHEELCHAIR USERS. THE EXITS SHALL HAVE LEVEL ACCESS AND ALSO INTO SUITABLE LEVEL AREA.

EMERGENCY BEACONS / STRIKE LIGHTS LIMITED TO FIRE ALARMS SHOULD BE CAREFULLY SELECTED TO ENSURE THAT THEY REMAIN VISIBLE. THE TECHNICAL SUBSTANCES NOT TO NECESSARILY AFFECT VISIBILITY WITH EMERGENCY.

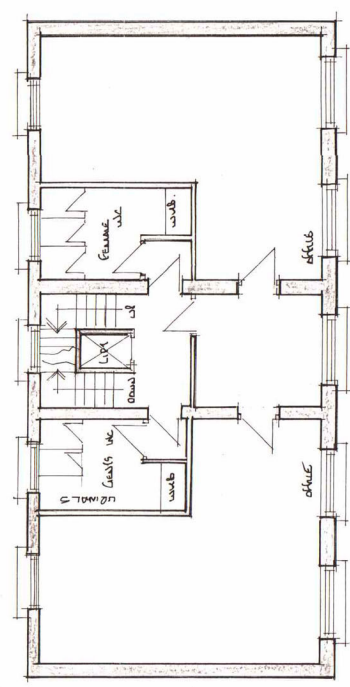
AMENDED PLAN
25 MAR 2011



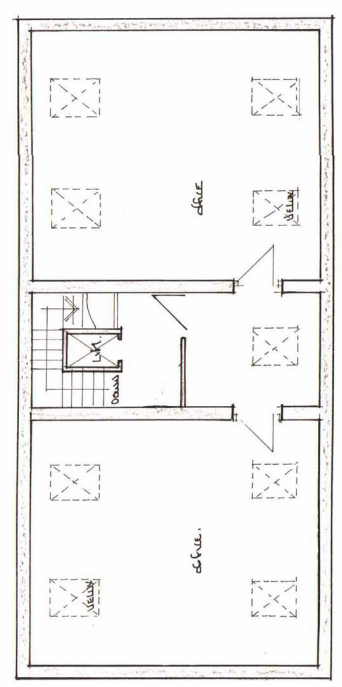
Mass Section (2nd floor)



Ground floor plan

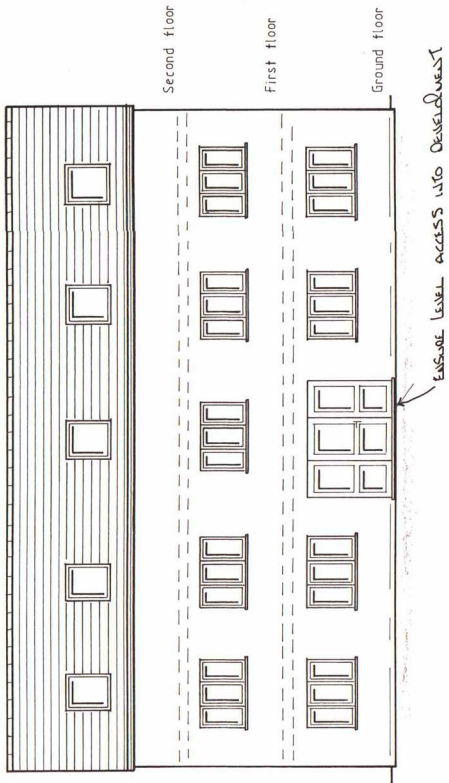


First floor plan

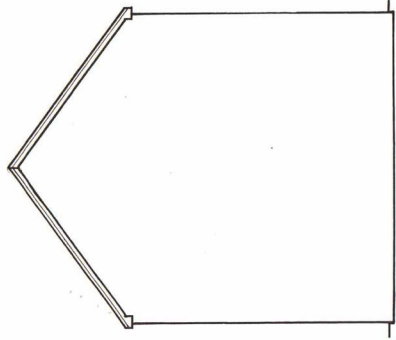


Second floor plan

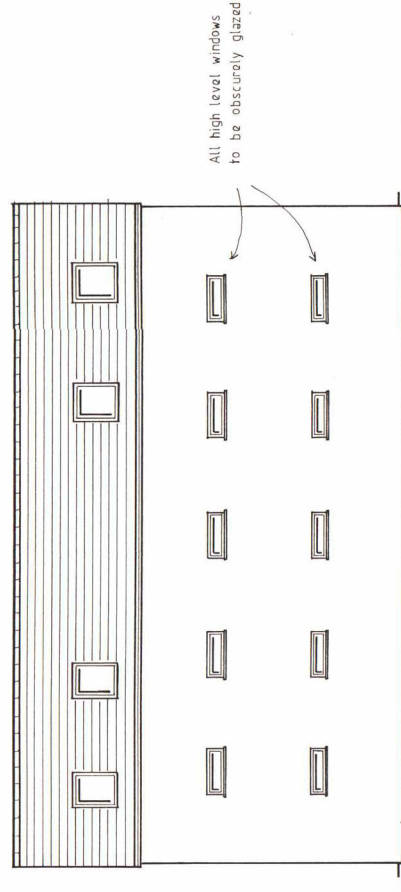
THIS DRAWING TO BE READ IN
CONJUNCTION WITH DRG NO'S 2479/01c & 02



FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

AMENDED
PLAN
2479/01c & 02

NOTES:
All dimensions must be checked on site and not scaled from this drawing.

A	Drawn	Date	Revisions
	MR Lail		Design to start

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MANAGEMENT SERVICES.

SUITE B,
128 MANOR WAY,
RUISLIP,
MIDDLESEX,
HA4 8HR

Tel: 01895 622800
Fax: 01895 622900

Client

MR RUSSELL / MR RAWAL

Job Title

17-21 THE CLOSE
EASTCOTE
MIDDX

Drawing Title

PROPOSED OFFICE
DEVELOPMENT.

Scale 1:100

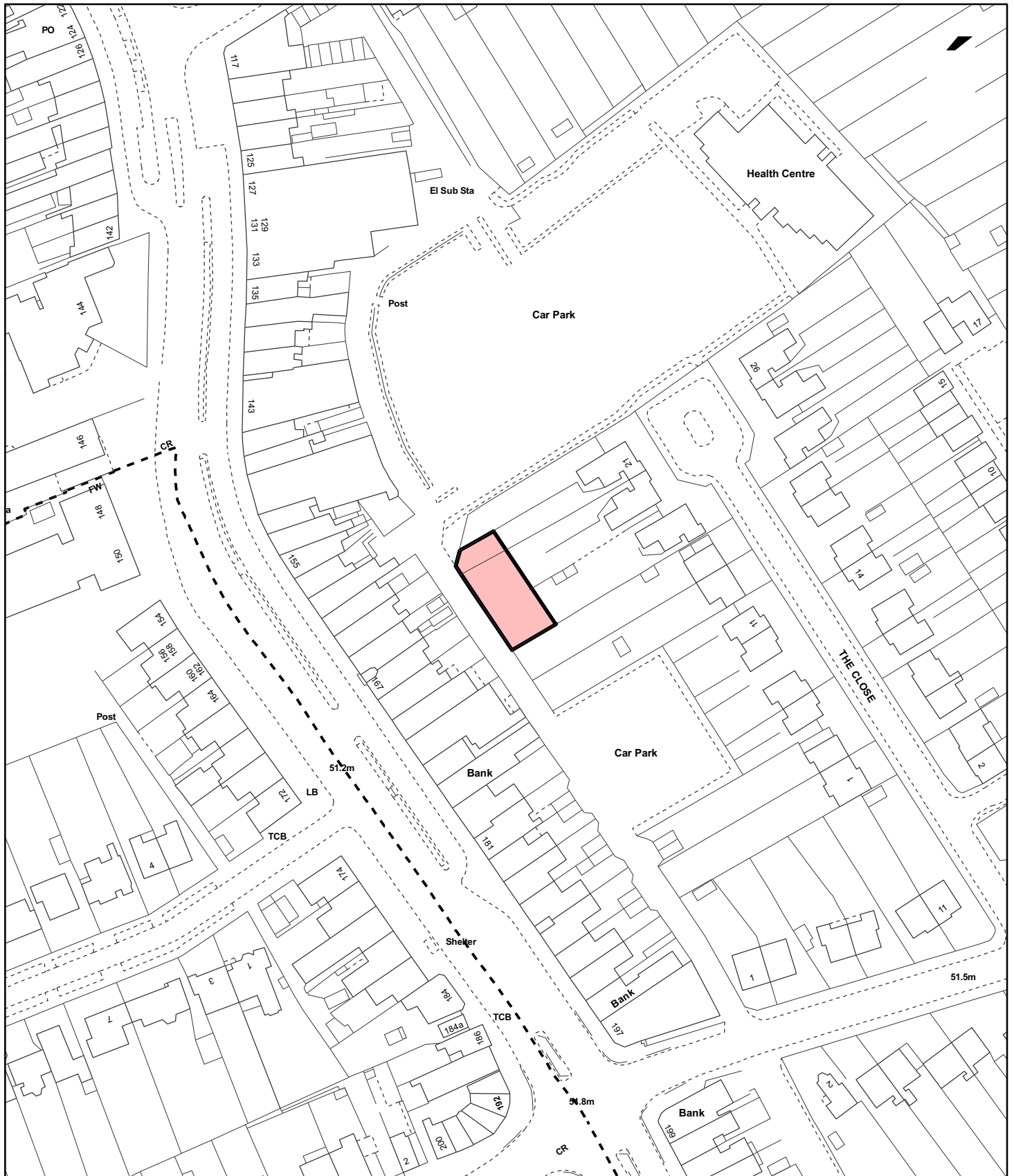
Date DEC 10 Drawn by MDP

Dwg No.

2479/03

Rev

A.



Notes

 Site boundary

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Site Address

**Land rear of 17 - 21 The Close,
Eastcote**

Planning Application Ref:

11448/APP/2011/238

Planning Committee

North Page 153

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address EASTCOTE LAWN TENNIS CLUB KADUNA CLOSE EASTCOTE PINNER
Development: Porch to front, installation of decking and fencing to side/front, installation of ramp to front and alterations to side of existing club house.
LBH Ref Nos: 52580/APP/2011/1462

Date Plans Received:	14/06/2011	Date(s) of Amendment(s):	15/06/2011
Date Application Valid:	22/06/2011		22/06/2011
			27/07/2011

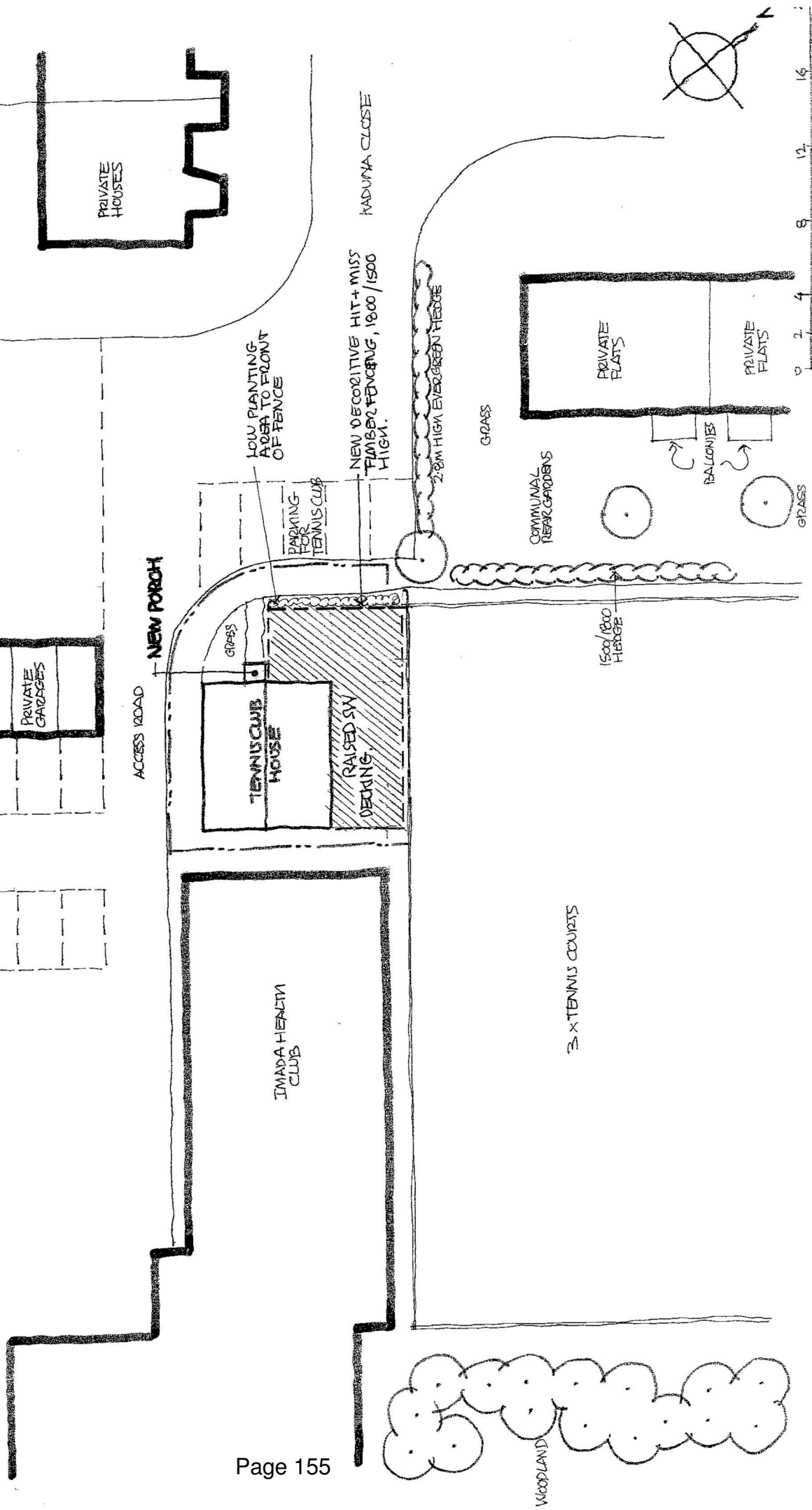
STCOTE LAWN TENNIS CLUB

Kaduna Close, Eastcote

Site Plan

Scale - 1:200 Date - Nov 2010

Project No. ELTC/PL/01 / REFURB. 3 B PARKING FOR IMADA HEALTH CLUB



PRIVATE HOUSES

PRIVATE GARAGES

PRIVATE GARAGES

PARKING FOR TENNIS CLUB

PARKING FOR TENNIS CLUB

NEW PORCH

ACCESS ROAD

TENNIS CLUB HOUSE

RAISED SW DECKING

IMADA HEALTH CLUB

3 x TENNIS COURTS

1500/1800 HEDGE

COMMUNAL REAR GARDENS

PRIVATE FLATS

PRIVATE FLATS

BALCONIES

GRASS

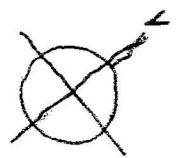
GRASS

NEW DECORATIVE HIT+MISS FENCING, 1800/1500 HIGH

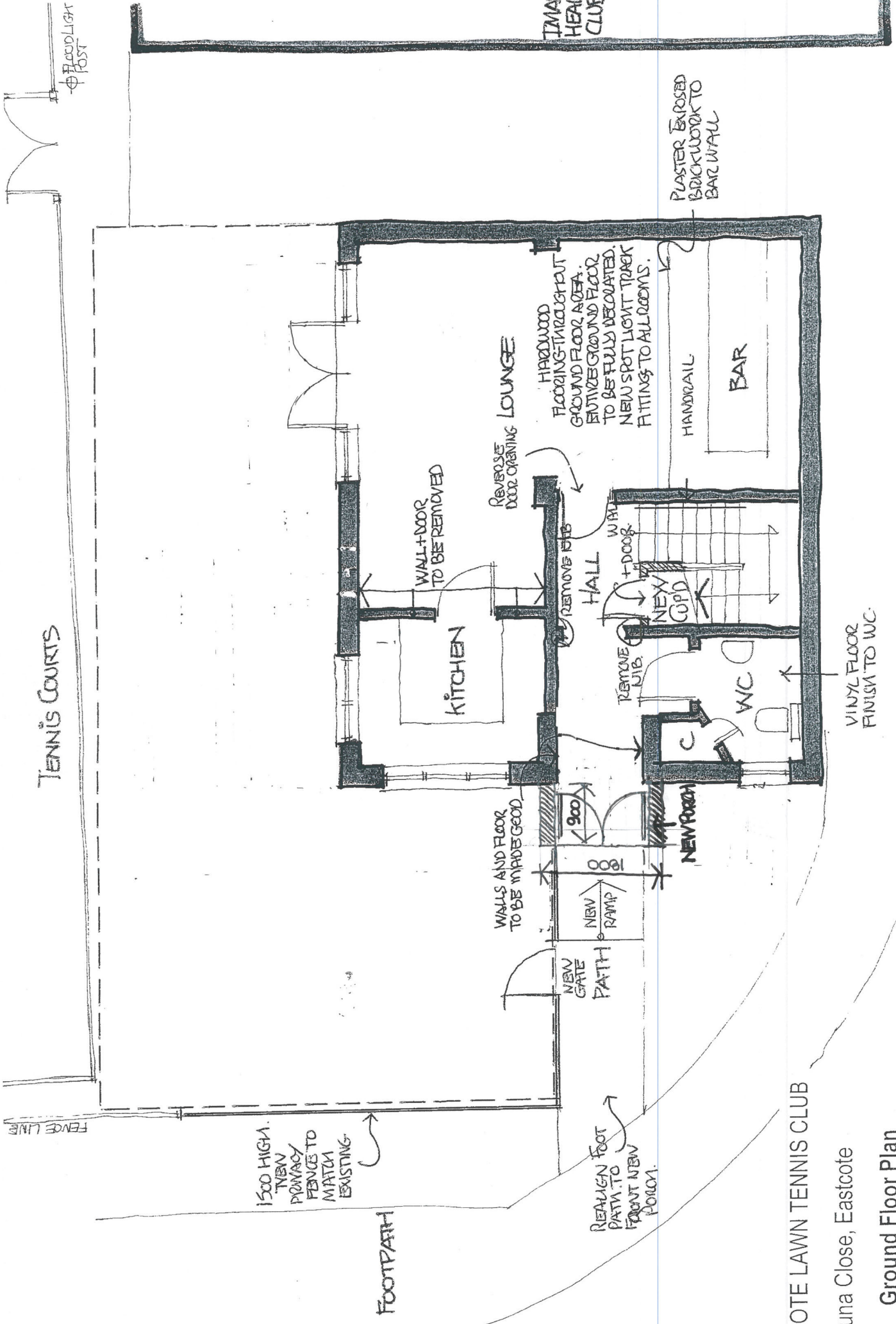
2.8M HIGH EVERGREEN HEDGE

LOW PLANTING AREA TO FRONT OF FENCE

KADUNA CLOSE



WOODLAND



TENNIS COURTS

FENCE LINE

1500 HIGH.
NEW
PRIVACY
FENCES TO
MATCH
EXISTING.

FOOTPATH

REALIGN FOOT
PATH TO
FRONT NEW
PORCH.

WALLS AND FLOOR
TO BE WIPED GOOD.

NEW
GATE
PATH

NEW
RAMP

900

NEW PORCH

KITCHEN

WALL+DOOR
TO BE REMOVED

REVERSE
DOOR OPENING LOUNGE

HARDWOOD
FLOORING THROUGHOUT
GROUND FLOOR AREA.
ENTIRE GROUND FLOOR
TO BE FULLY DECORATED.
NEW SPOT LIGHT TRACK
FITTINGS TO ALL ROOMS.

HALL

REMOVE WIP

WIP

+DOOR

NEW
CUPD

WC

VINYL FLOOR
FINISH TO WC

PLASTER EXPOSED
BRICKWORK TO
BAR WALL

HANDRAIL

BAR

JMA
HEAT
CLUT

EASTCOTE LAWN TENNIS CLUB

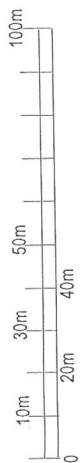
12 Kaduna Close, Eastcote

Ground Floor Plan

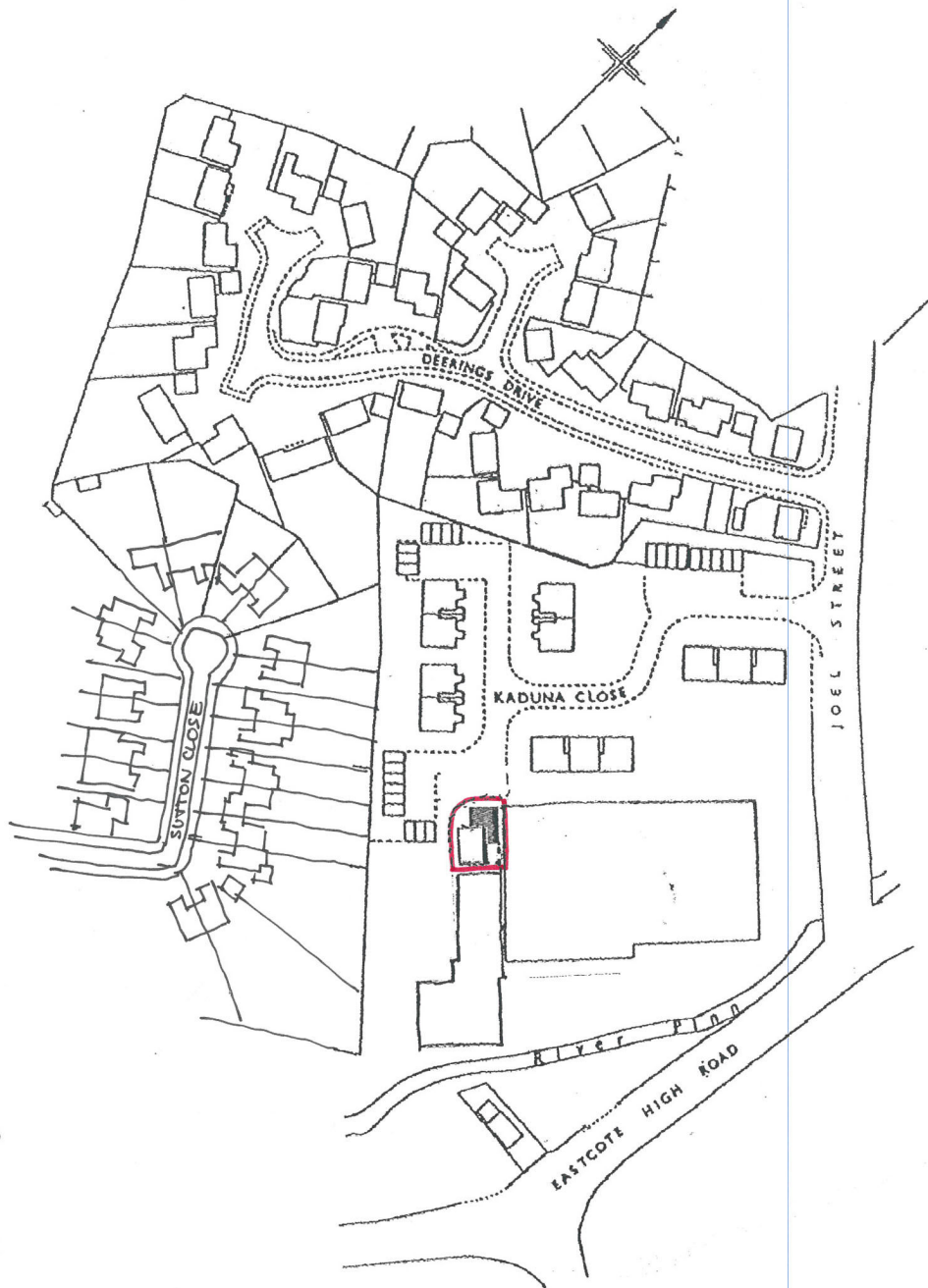
Scale - 1:50 Date - Nov 2010

Drwg. No. ELTC/PL/02 / REFURS. 3A





scale - 1 : 1250 @ A3



Old Reference X 5 X

A - Sutton Close Access 22/06/11



LOCATION PLAN

eastcote lawn tennis club

12 Kaduna Close,
Eastcote, HA5 2PZ

scale - 1 : 1250
July 2010

Dwg. no. **01** A

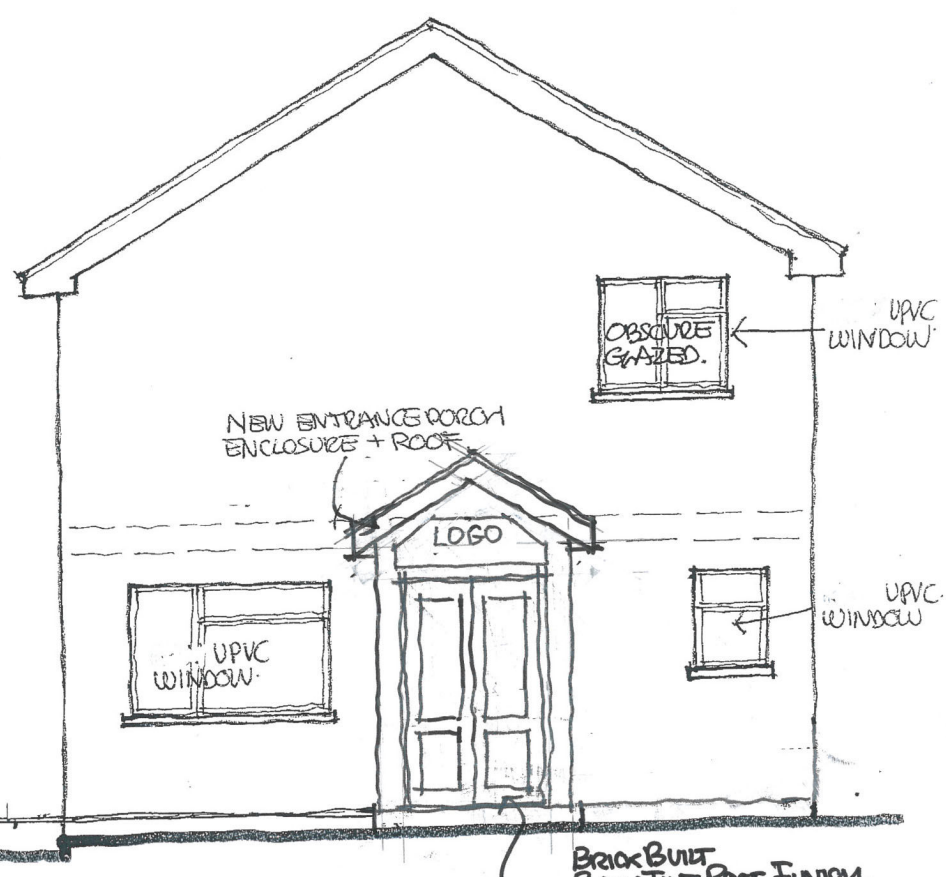
EASTCOTE LAWN TENNIS CLUB

12 Kaduna Close, Eastcote

Elevations

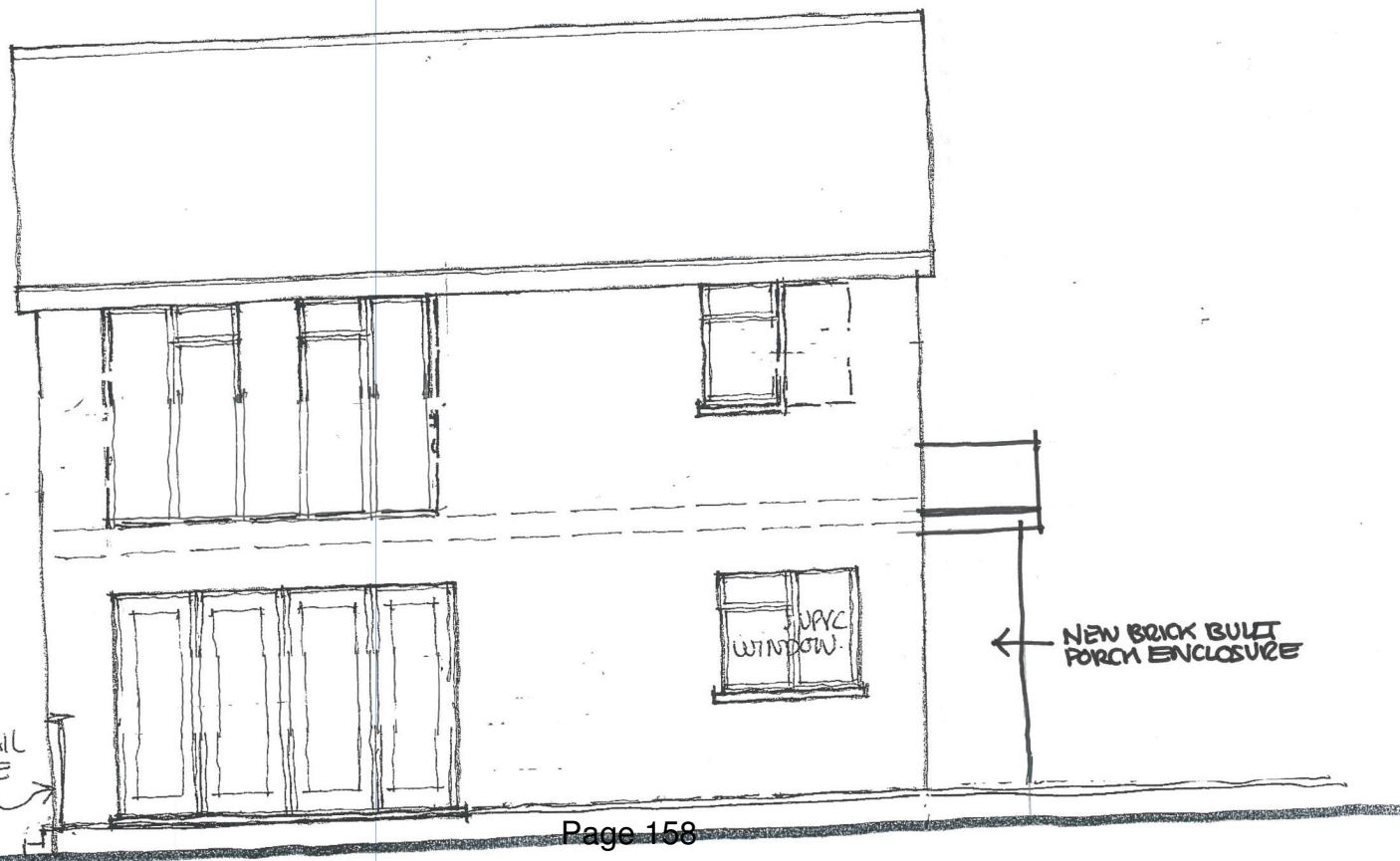
Scale - 1:50 Date - Nov 2010

Drwg. No. ELTC/PL/04 / REFURB. 3A



North West Elevation

BRICK BUILT
PLAIN TILE ROOF FINISH.
WHITE UPVC PAIR OF
DOORS.
CLUB LOGO ABOVE DOORS.



North East Elevation

STCOTE LAWN TENNIS CLUB

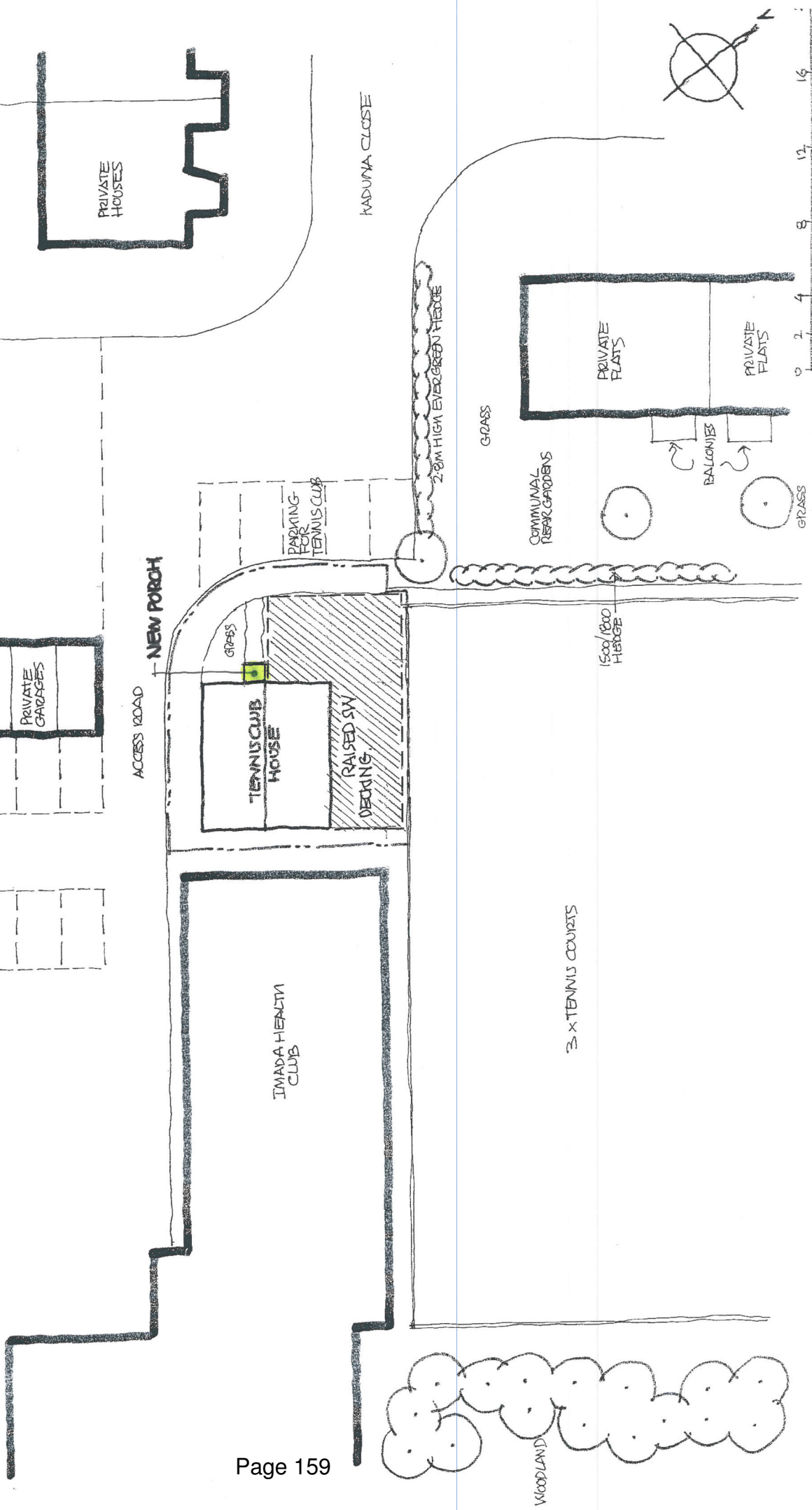
Kaduna Close, Eastcote

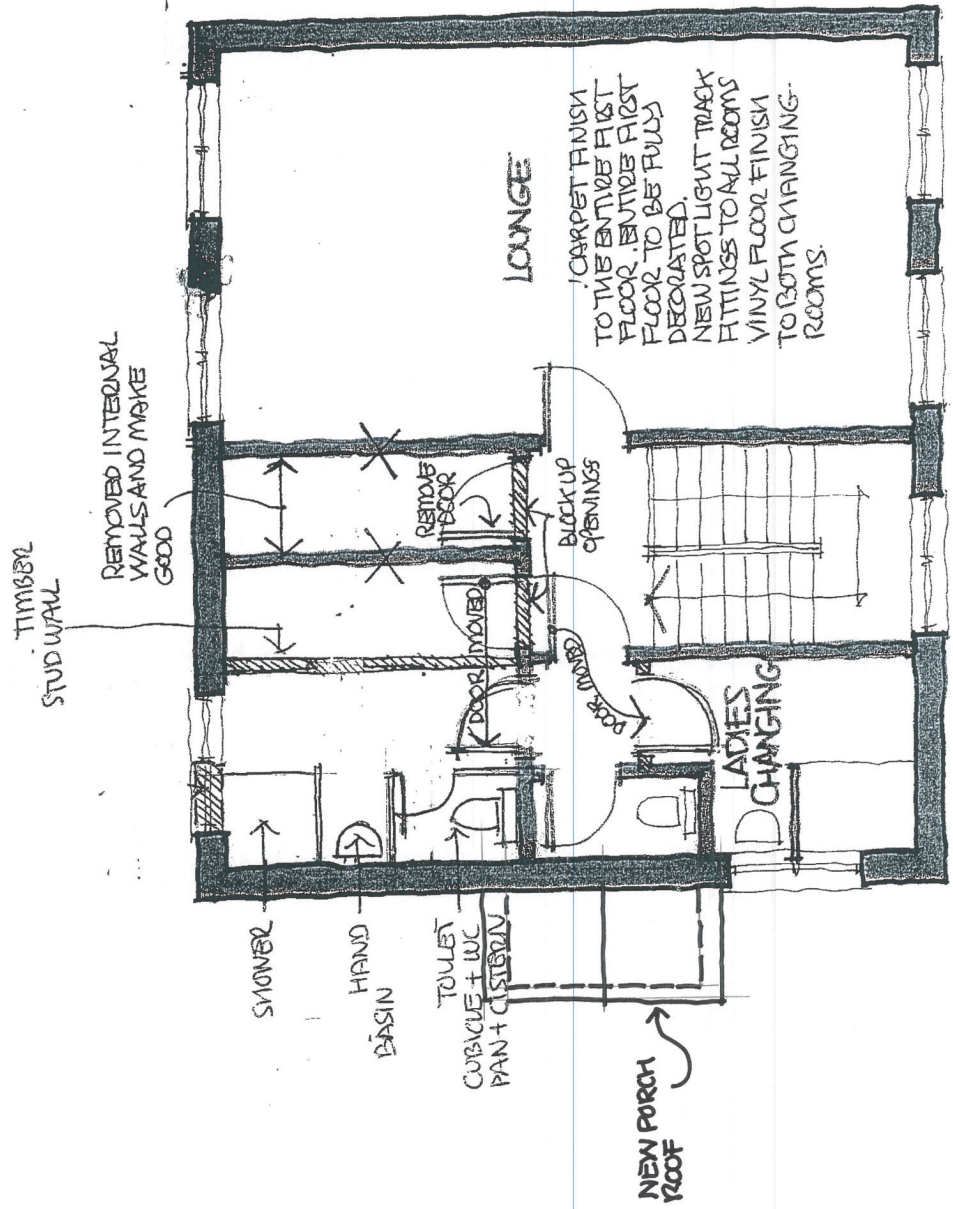
Site Plan

Scale - 1:200 Date - Nov 2010

Project No. ELTC/PL/01 / REFURB. 3A PARKING FOR IMADA HEALTHY CLUB

Ref: 151/2014
16 of 16





EASTCOTE LAWN TENNIS CLUB

12 Kaduna Close, Eastcote

First Floor Plan

Scale - 1:50 Date - Nov 2010

Drwg. No. ELTC/PL/03 / REFURB. 3A

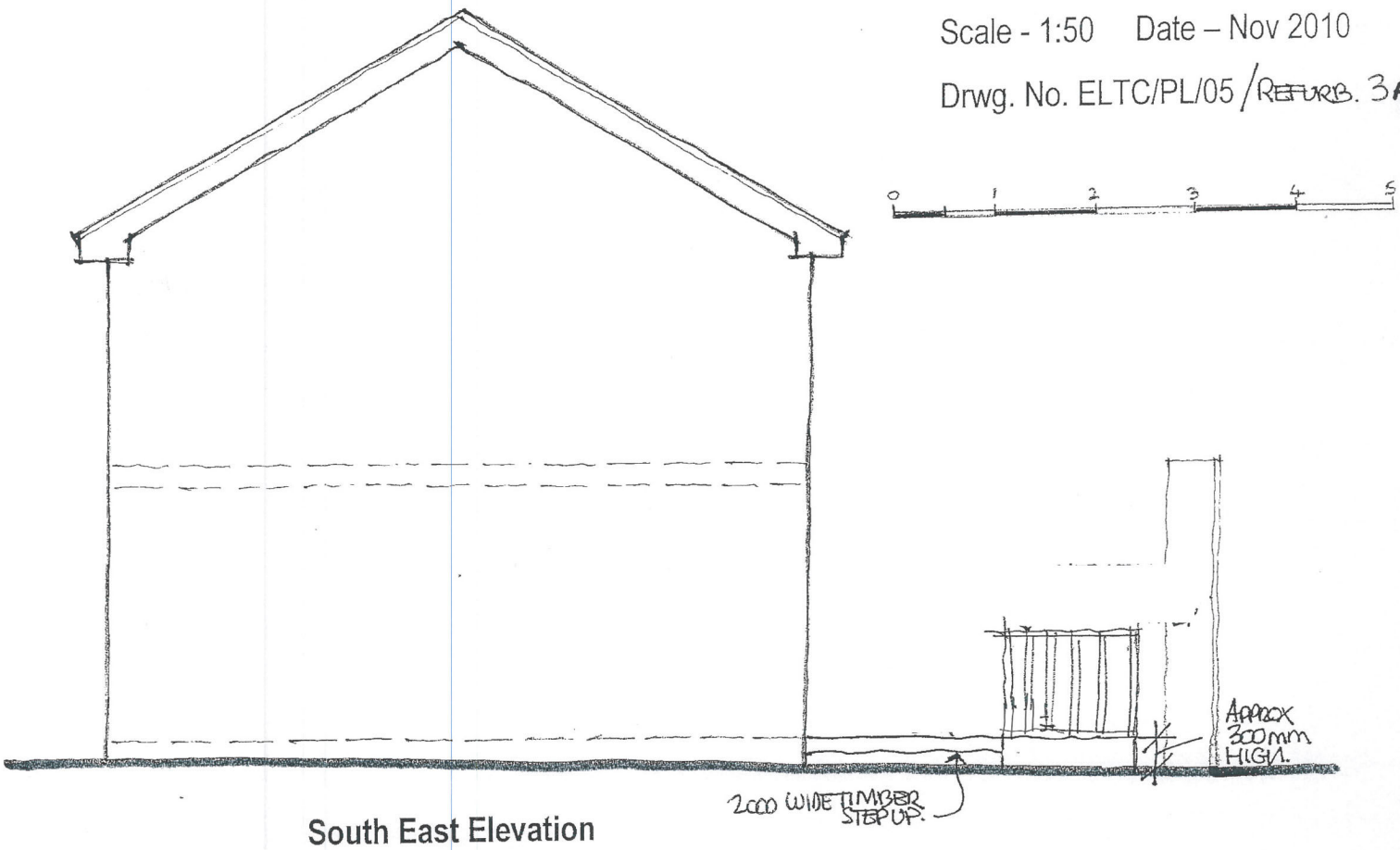
EASTCOTE LAWN TENNIS CLUB

12 Kaduna Close, Eastcote

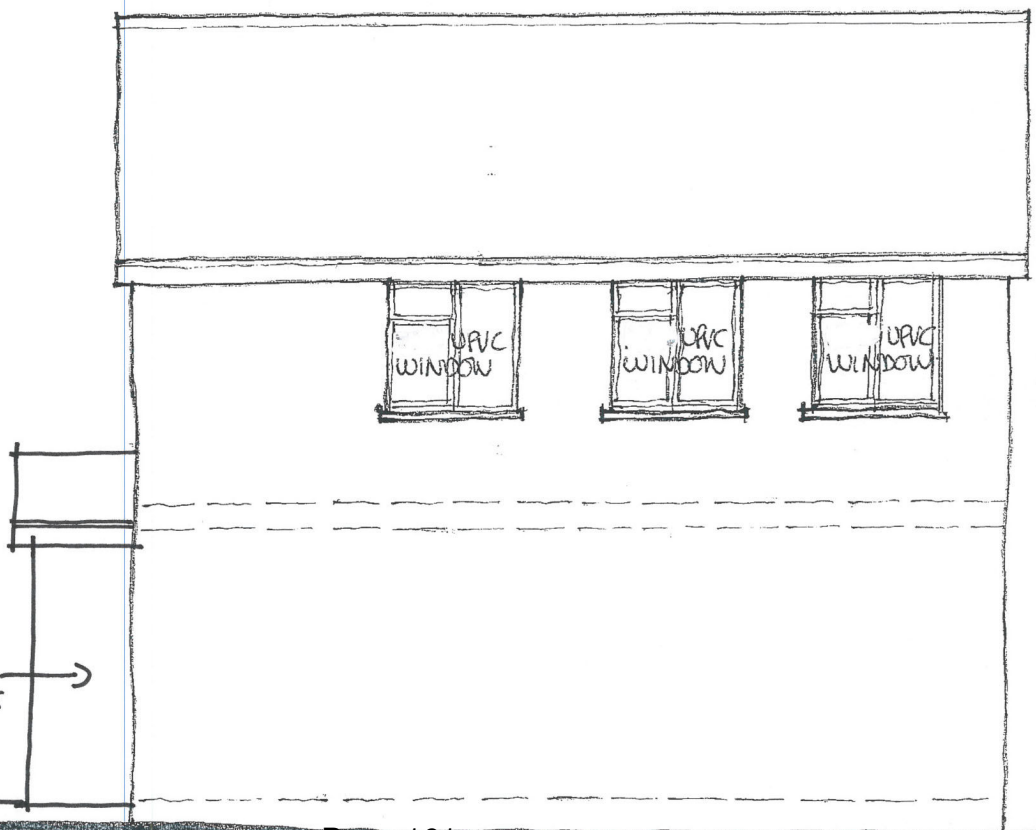
Existing Elevations

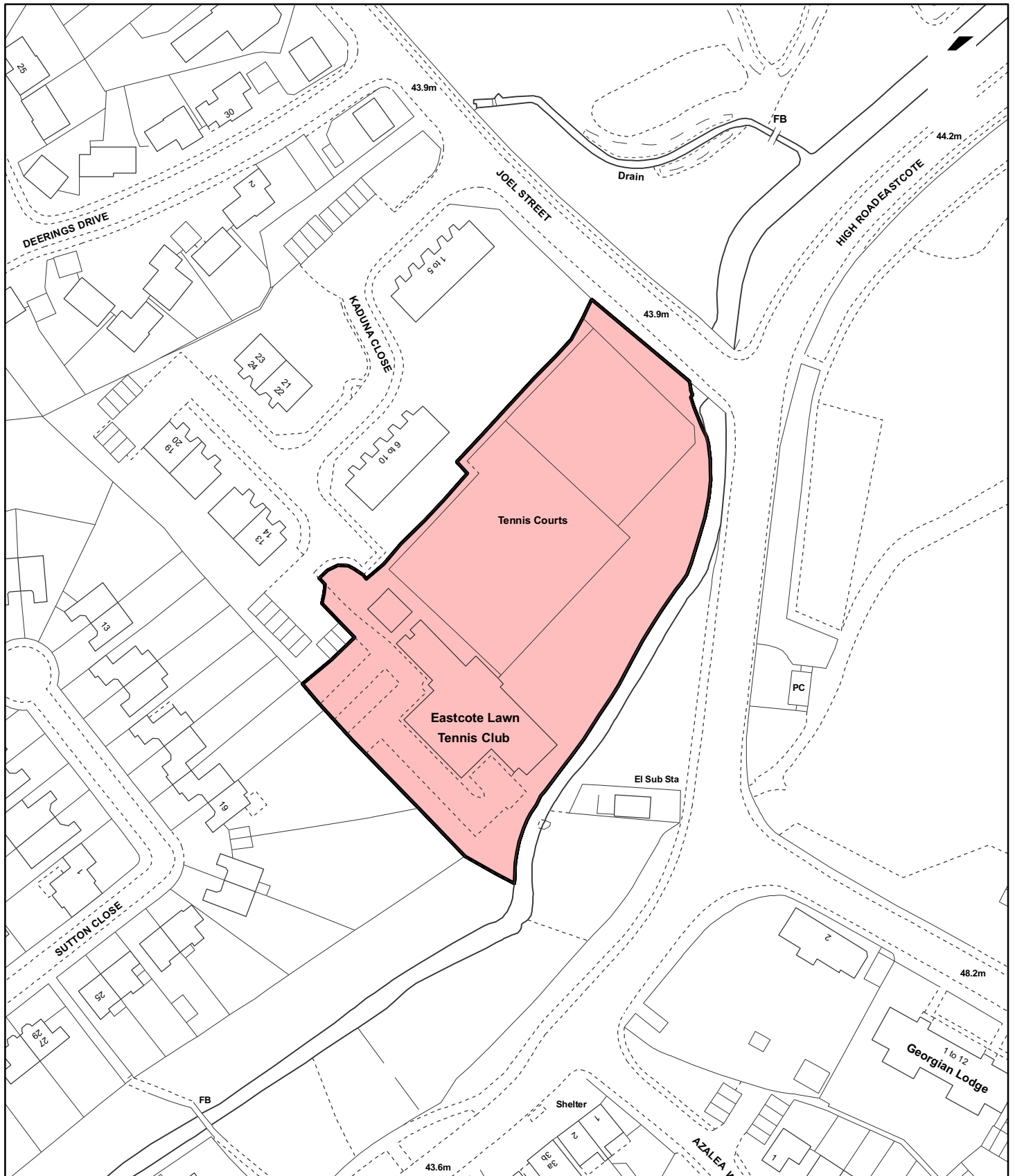
Scale - 1:50 Date - Nov 2010

Drwg. No. ELTC/PL/05 / REURB. 3A



NEW BACK BUILT PORCH ENCLOSURE →





Notes

 Site boundary

For identification purposes only.

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Site Address

**Eastcote Lawn Tennis Club,
Kaduna Close, Eastcote**

Planning Application Ref:

52580/APP/2011/1462

Planning Committee

North Page 162

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 41 RAISINS HILL PINNER

Development: Part two storey, part single storey side/rear extension, single storey front extension and conversion of existing integral garage and store into habitable space involving the installation of 2 rear rooflight and 1 front rooflight.

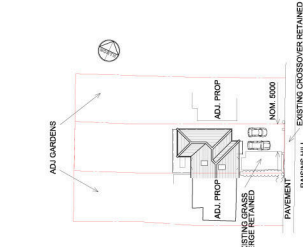
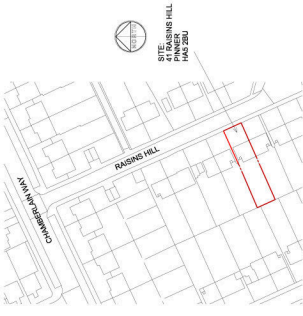
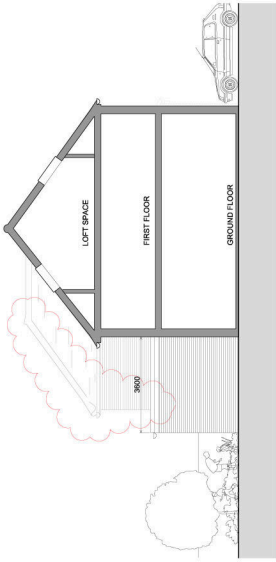
LBH Ref Nos: 64909/APP/2011/1165

Date Plans Received: 13/05/2011

Date(s) of Amendment(s): 16/08/2011

Date Application Valid: 13/05/2011

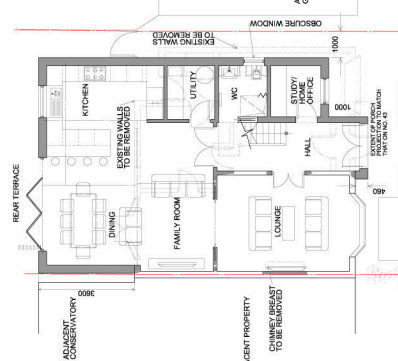
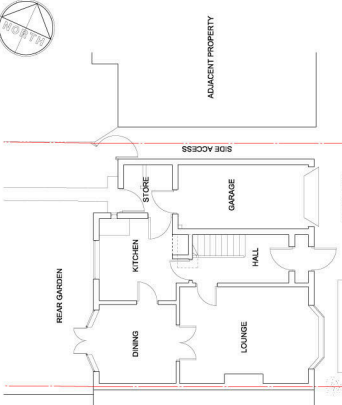
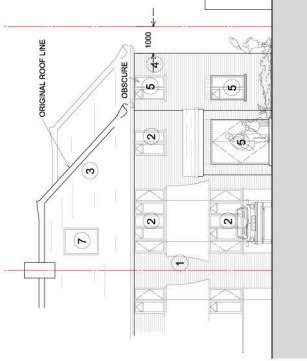
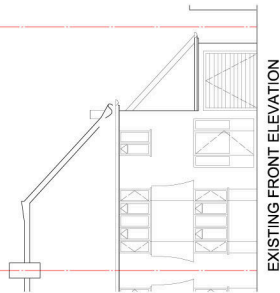
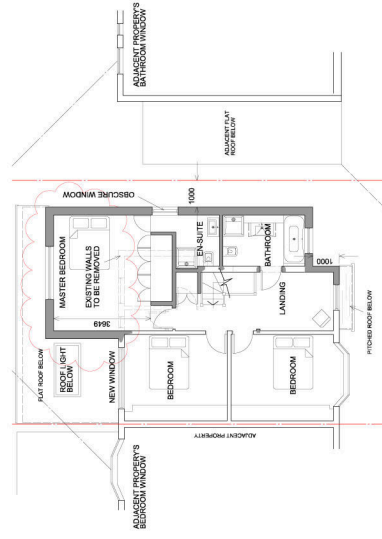
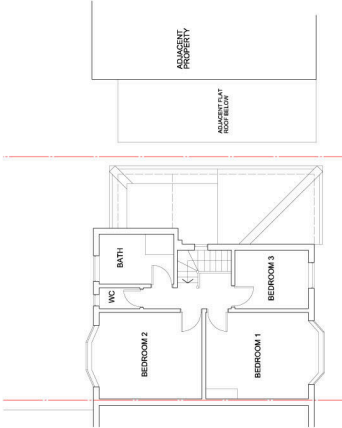
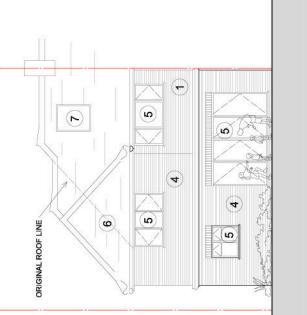
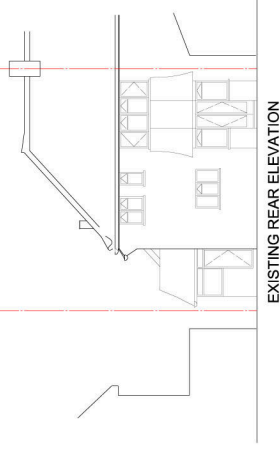
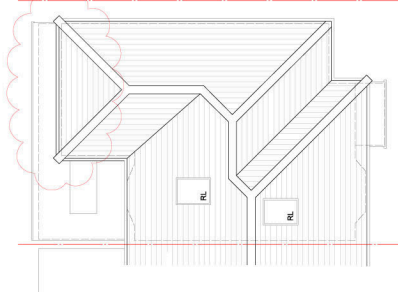
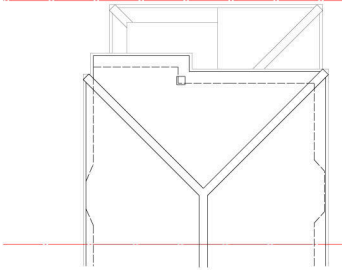
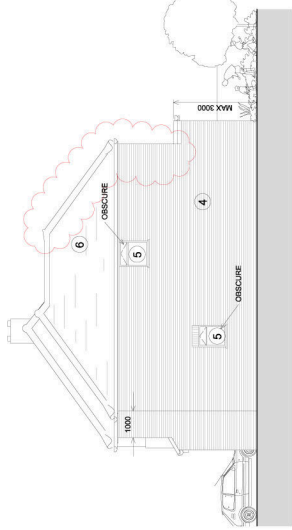
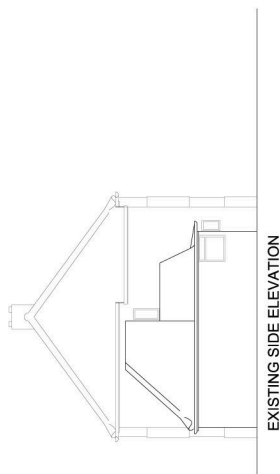
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- 1 EXISTING FACING BRICK
 - 2 EXISTING WINDOW / DOOR
 - 3 EXISTING ROOF TILE
 - 4 FACING BRICK TO MATCH EXISTING
 - 5 NEW UPVC DOUBLE GLAZED WINDOW / DOOR
 - 6 ROOF TILE TO MATCH EXISTING
 - 7 NEW ROOF LIGHT



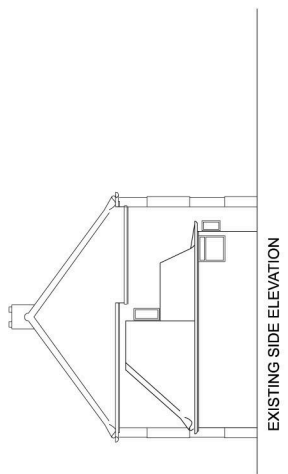
REVISION	DATE	COMMENTS	APP'D
C	16/08/17	REAR FIRST FLOOR EXTENSION REDUCED	PP/D/S
B	11/07/17	NOTE ADDED FOR PORCH ROOF	PP/D/S
A	07/07/17	GROUND SETBACK ADDED	PP/D/S

SCALE	PAPER SIZE	TITLE
1:1000, 1:2500	A1	41 RAISING HILL, PINNER, HAZ ZBU
DATE	DRAWN	DATE
08/08/2011	PP/D/S	08/08/2011
APPROVED	DATE	APPROVED
JC / DS	10/03/16	C

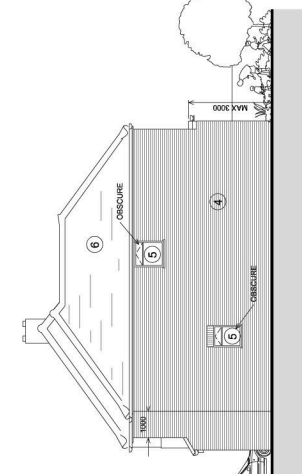
DS2 D S 2 SQUARE ARCHITECTS
020 8350 0000 | www.ds2square.com



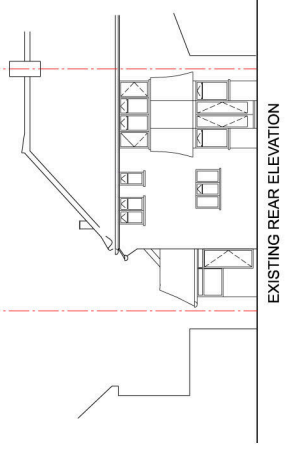
- KEY:**
- 1 EXISTING FACING BRICK
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 - 3 EXISTING ROOF TILE
 - 4 FACING BRICK TO MATCH EXISTING
 - 5 NEW UPVC DOUBLE GLAZED WINDOW / DOOR
 - 6 ROOF TILE TO MATCH EXISTING
 - 7 NEW ROOF LIGHT



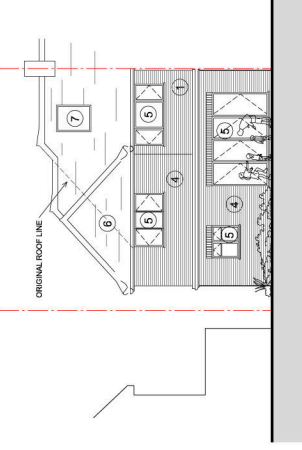
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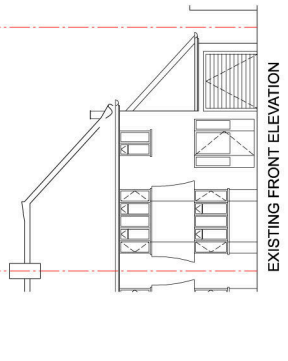
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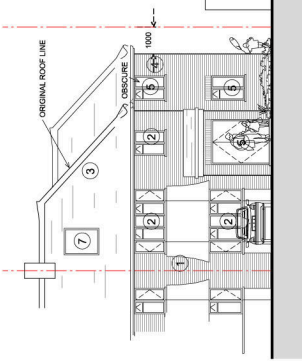
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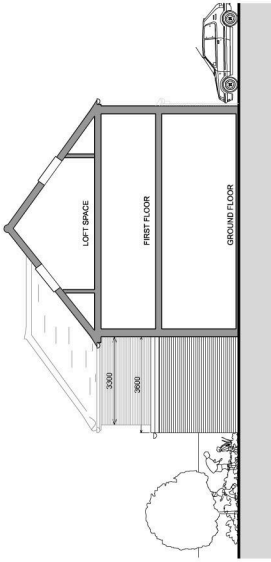
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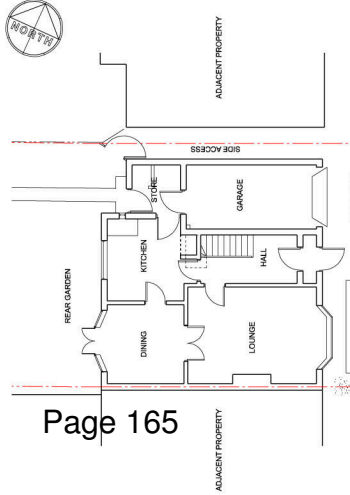
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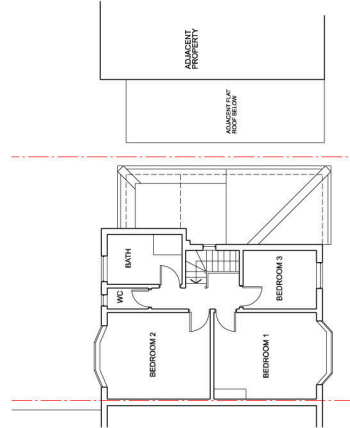
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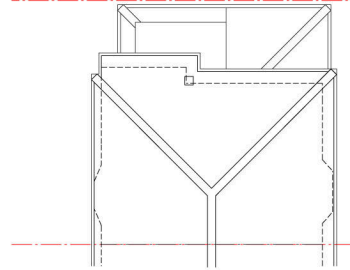
PROPOSED FLANK WALL ELEVATION & TYPICAL SECTION



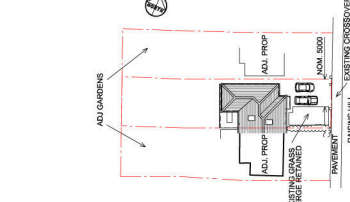
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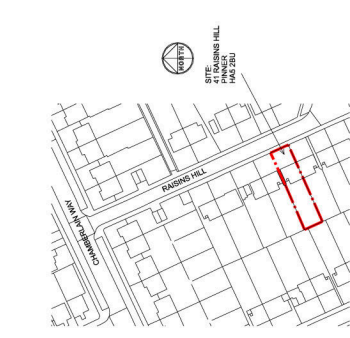
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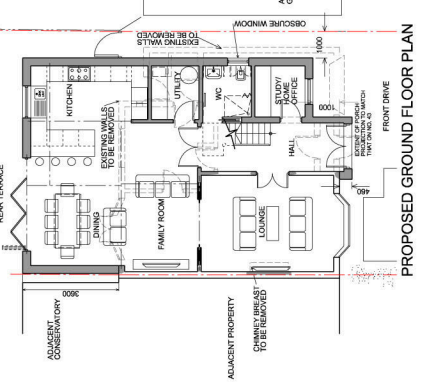
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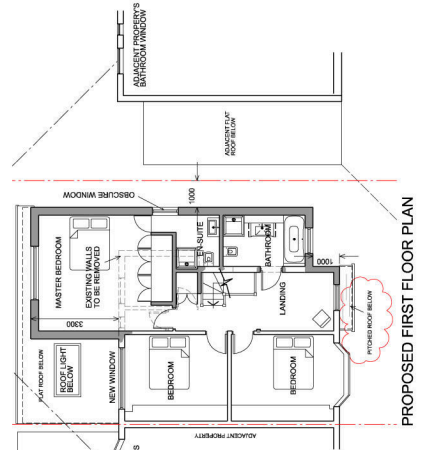
PROPOSED BLOCK PLAN



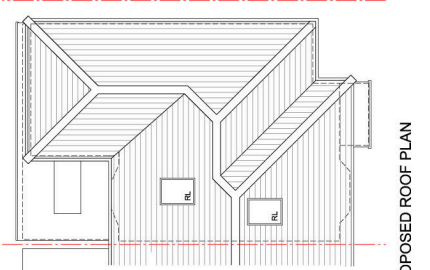
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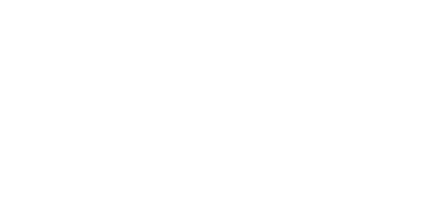
EXISTING FIRST FLOOR PLAN



PROPOSED FIRST FLOOR PLAN



EXISTING ROOF PLAN

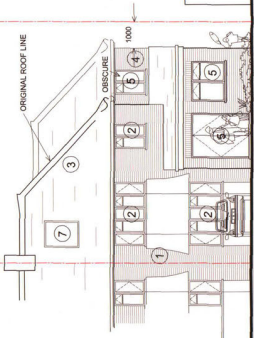
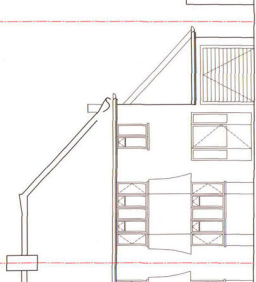
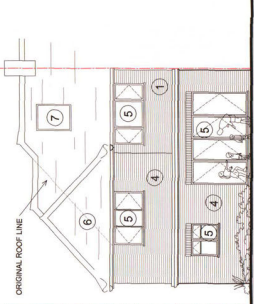
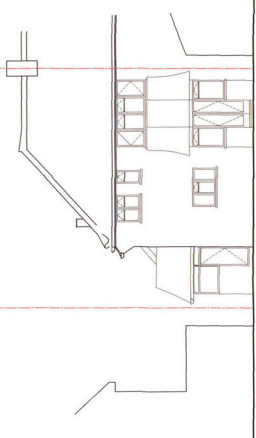
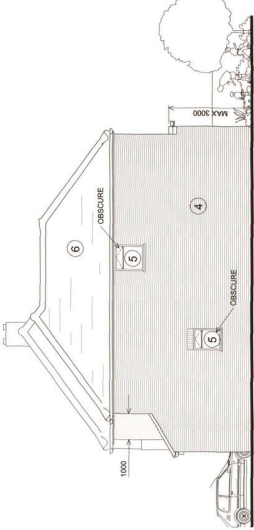
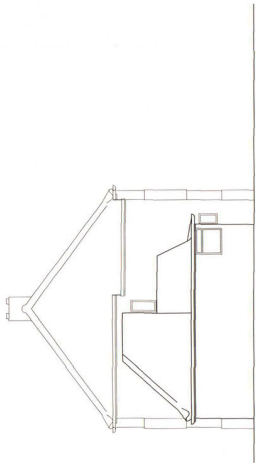


PROPOSED ROOF PLAN

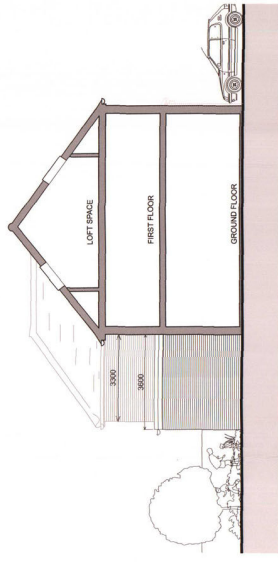
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B	11/07/11	NOTE ADDED FOR PORCH ROOF	1:100, 1:250	41 RAISING HILL, PINNER, HAS 2BU
A	07/07/11	GROUND SETBACK ADDED	A1	EXISTING & PROPOSED LAYOUTS
DRAWN BY			DATE	SCALE
ARCHITECT CHECKED			DATE	SCALE
JC / DS			10/03/11	P. 01/01
DRAWN BY			DATE	SCALE
ARCHITECT CHECKED			DATE	SCALE
JC / DS			10/03/11	P. 01/01
DRAWN BY			DATE	SCALE
ARCHITECT CHECKED			DATE	SCALE
JC / DS			10/03/11	P. 01/01

D5 D5 SQUARED ARCHITECTS
 4 SPRING VILLA ROAD
 HAS 2BU
 LONDON
 TEL: 020 7123 0200
 WWW.D5SQUARED.COM

- KEY:**
- 1 EXISTING FACING BRICK
 - 2 EXISTING WINDOW / DOOR
 - 3 EXISTING ROOF TILE
 - 4 FACING BRICK TO MATCH EXISTING
 - 5 NEW UPVC DOUBLE GLAZED WINDOW / DOOR
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 - 7 NEW ROOF LIGHT



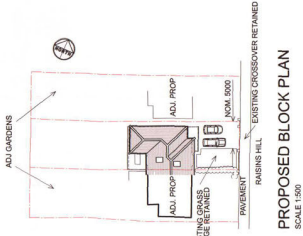
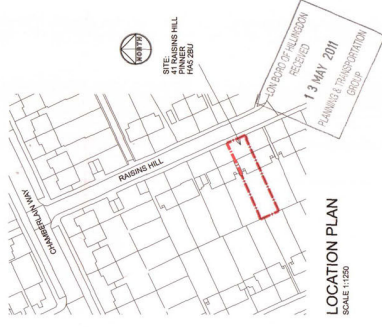
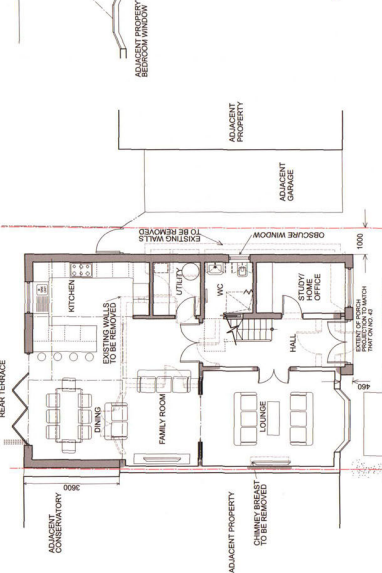
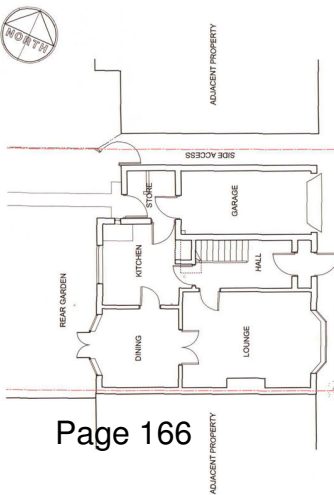
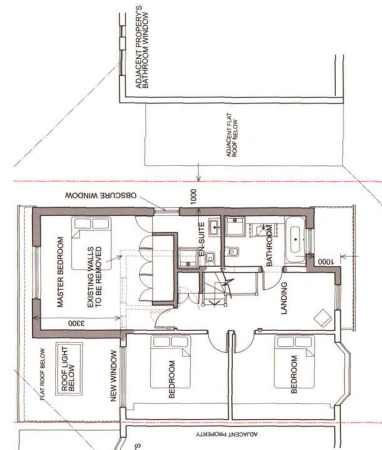
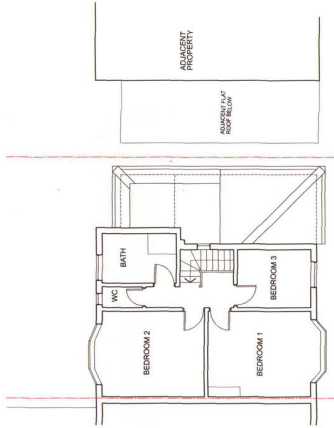
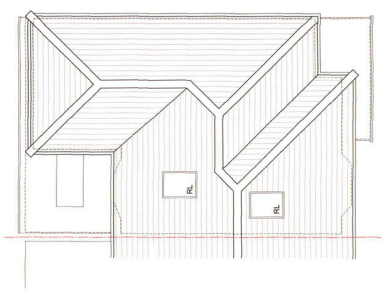
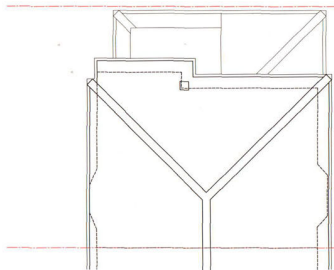
PROPOSED FLANK WALL ELEVATION & TYPICAL SECTION



PROPOSED SIDE ELEVATION

PROPOSED REAR ELEVATION

PROPOSED FRONT ELEVATION

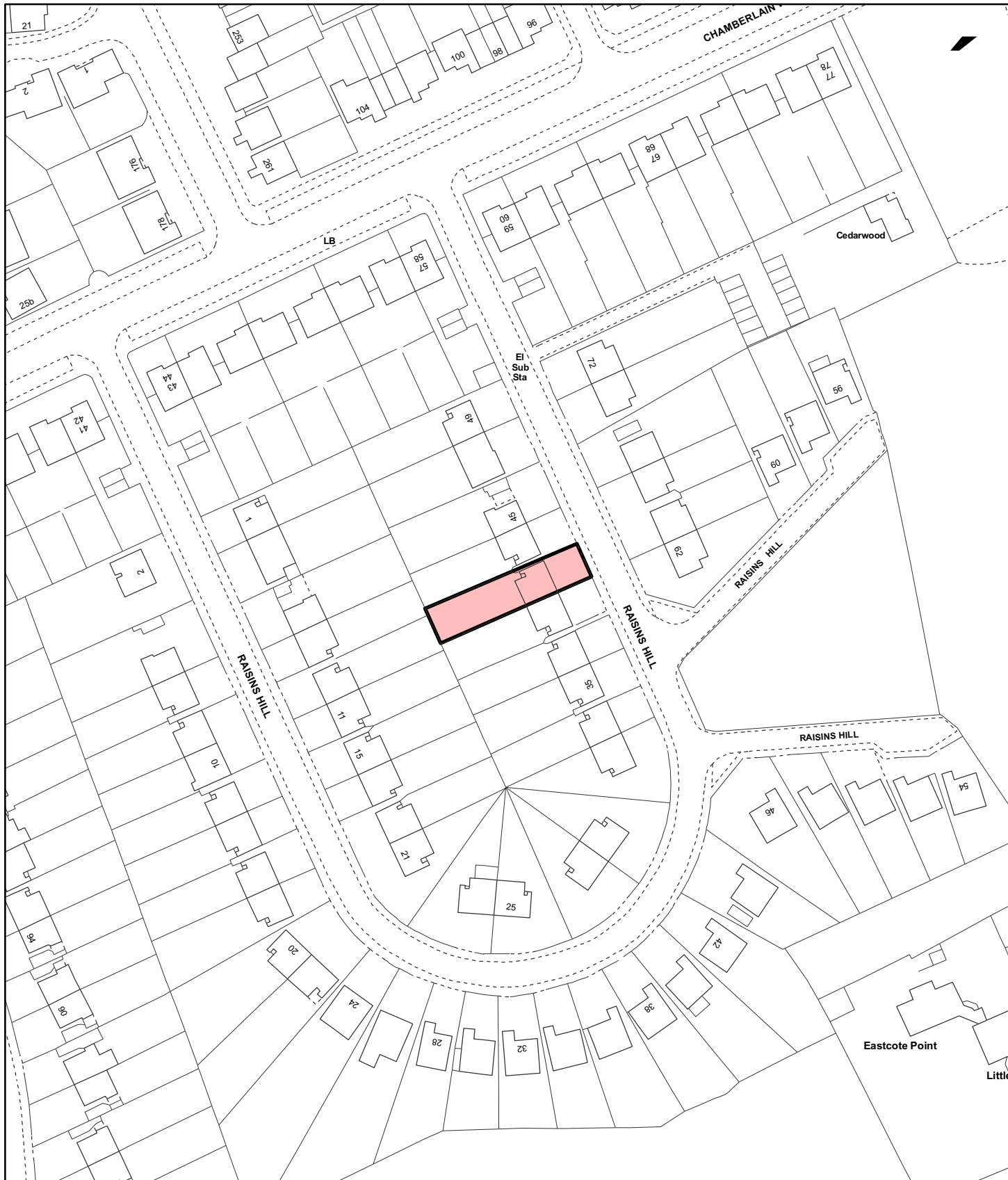


DS2 DESIGN SQUARE ARCHITECTS
 4 SPRING VILLA ROAD
 PINNER, MIDDLESEX HA5 2BU
 TEL: 0208 861 1000
 WWW.DS2ARCHITECTS.CO.UK

REVISION DATE COMMENTS
 1 13 MAY 2011 PLANNING & PROPOSED LAYOUTS
 2 13 MAY 2011 PLANNING & PROPOSED LAYOUTS

SCALE: 1:100, 1:250, A1
 DATE: 2011
 DRAWN BY: JC / DS
 CHECKED BY: JC / DS
 PROJECT NO: 100544 P 01.01
 CLIENT: PINNERS TRANSPORT GROUP

1 5 10 15 m



Notes

 Site boundary

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Site Address

**41 Raisins Hill,
Pinner**

Planning Application Ref:

64909/APP/2011/1165

Planning Committee

North Page 167

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

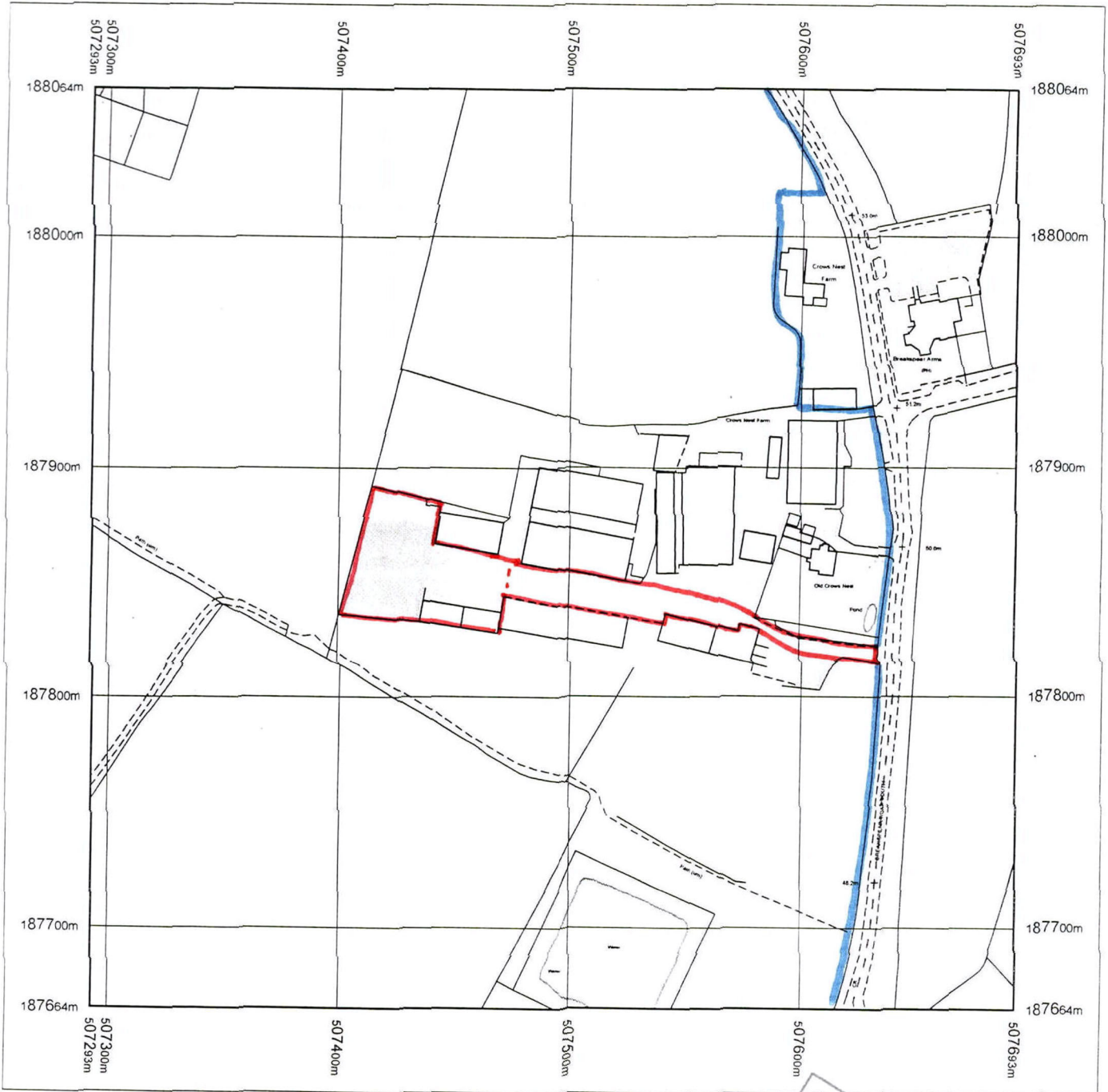
Report of the Head of Planning & Enforcement Services

Address LAND AT CROWS NEST FARM BREAKSPEAR ROAD SOUTH
HAREFIELD

Development: Detached storage building to be used for the processing and storage of bio
fuel and compost

LBH Ref Nos: 1113/APP/2011/1020

Date Plans Received: 28/04/2011 **Date(s) of Amendment(s):**
Date Application Valid: 12/05/2011



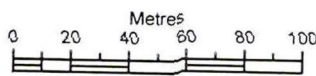
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The representation of features as lines is no evidence of a property boundary.



Scale 1:2500

Supplied by: **Thames Print Room**
 Serial number: 00112900
 Centre coordinates: 507493 187864.25

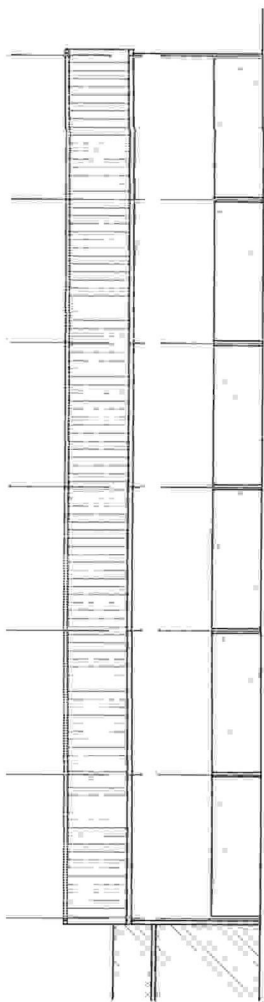
Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:
www.ordnancesurvey.co.uk



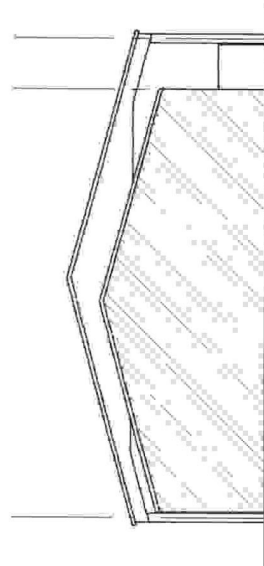
Proposed free standing portal frame cover to compost re-cycling operation at Crows Nest Farm.

scale 1:200

CNF 1

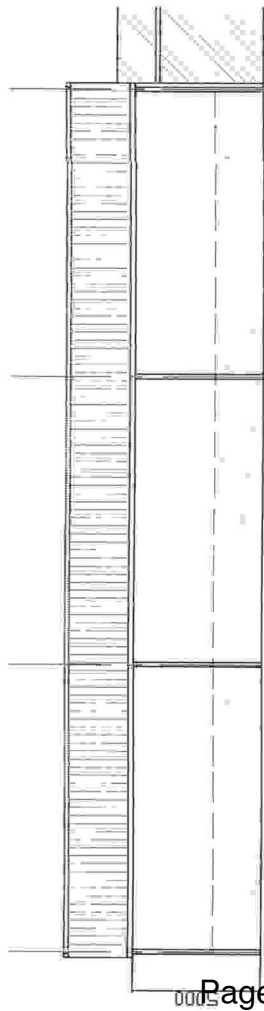


north

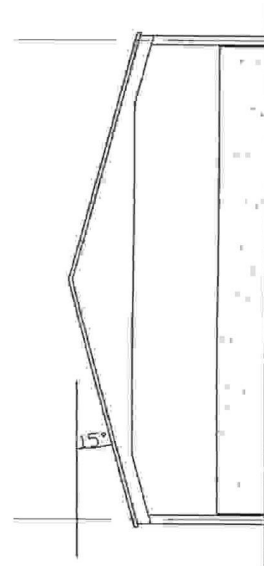


east

If sides need to be sheeted in then intermediate steels could be fixed to top of bund wall.

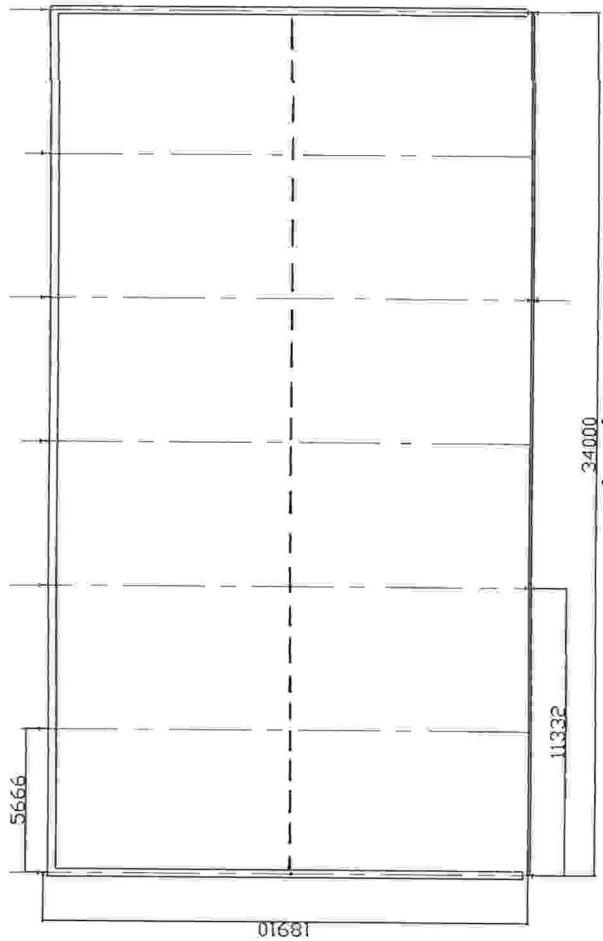


south

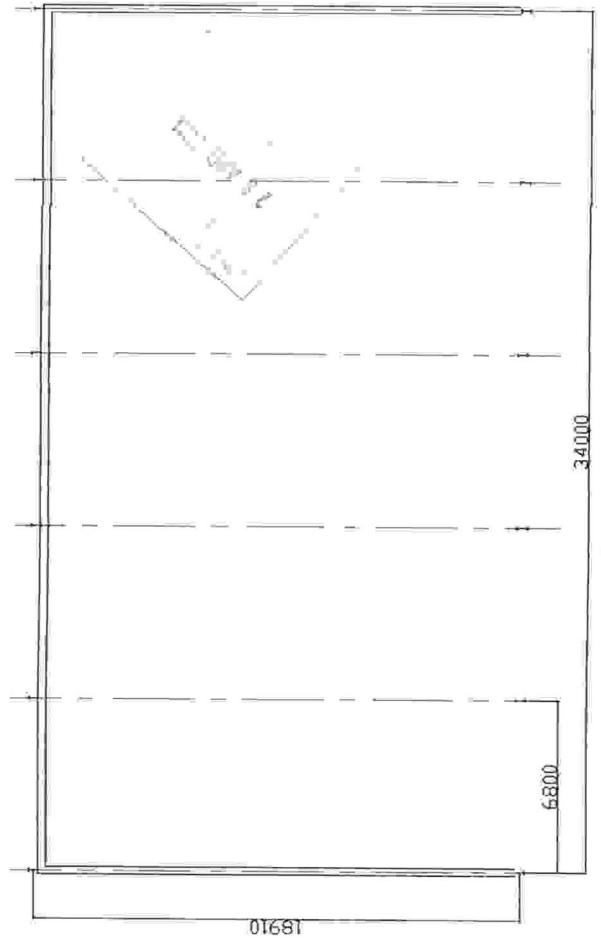


west

Alternative front bay configuration with either 5 bays @ 6800 or 6 bays @ 5.666 with alternate posts removed front line to form 3 bays at 11.322

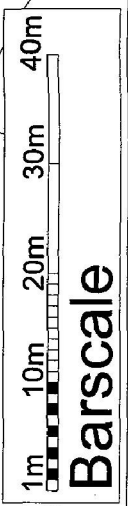
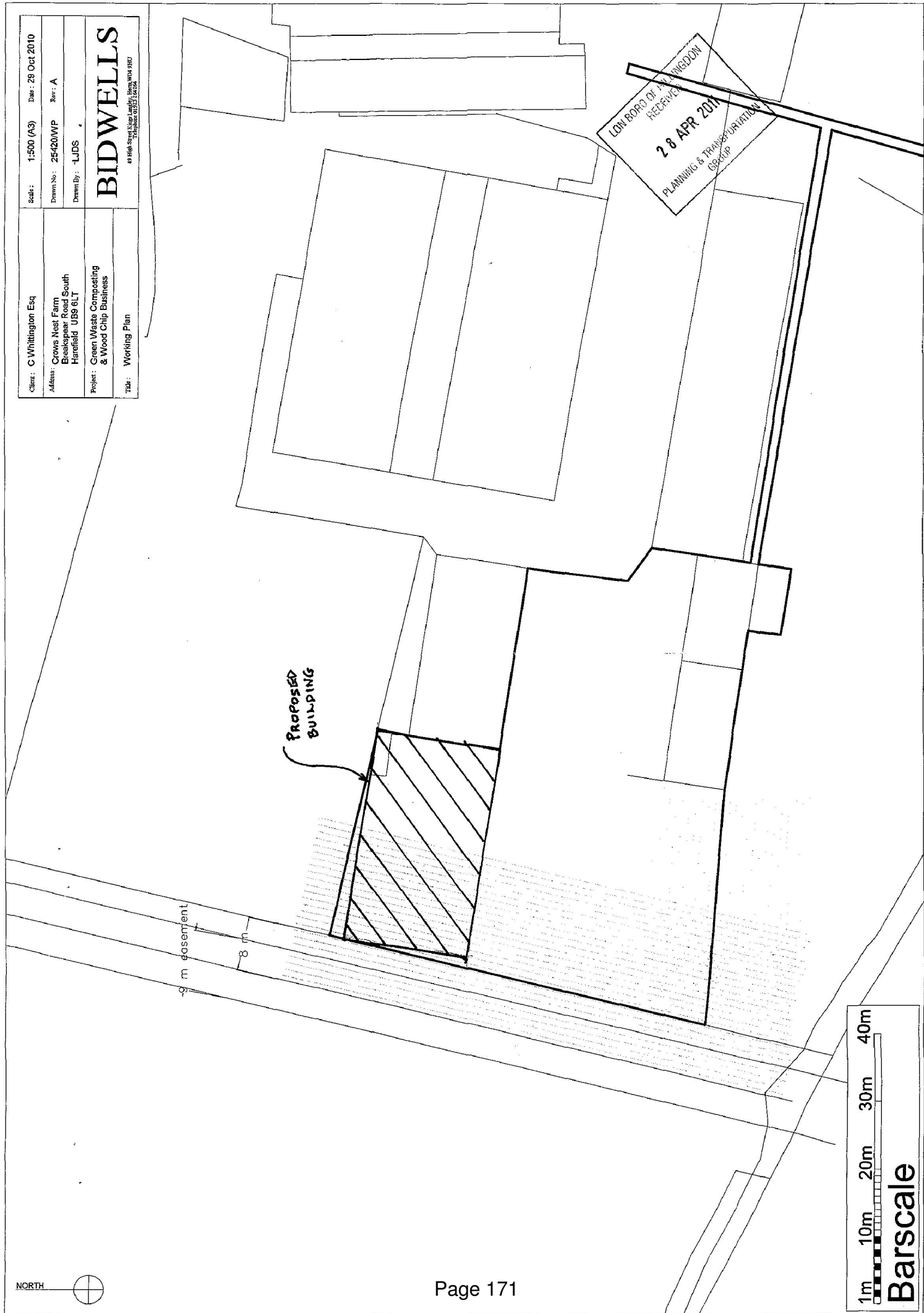


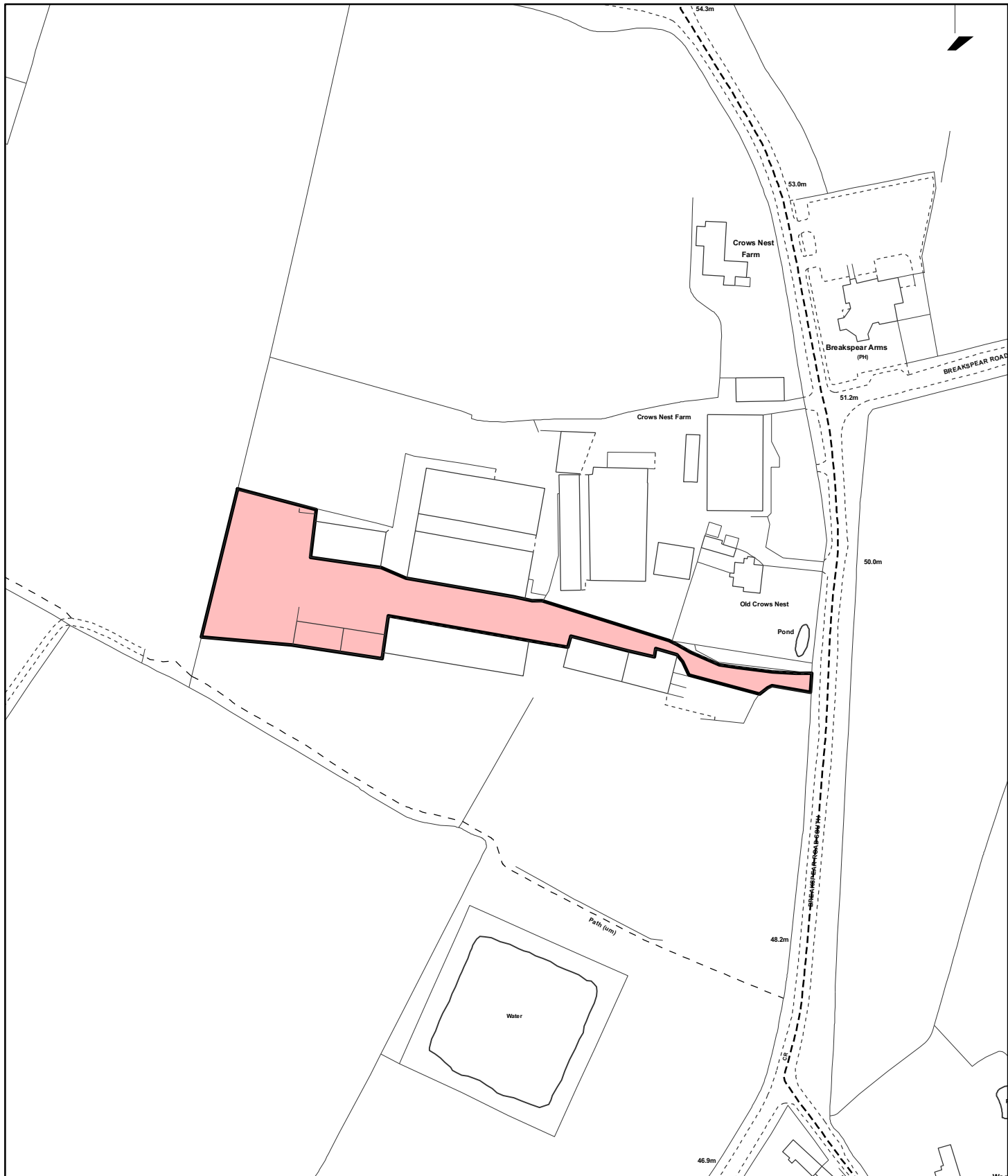
roof plan



plan

Client: C Whittington Esq	Scale: 1:500 (A3)	Date: 28 Oct 2010
Address: Crows Nest Farm Breakspoor Road South Harefield UB9 6LT	Drawn No: 25-420/WP	Rev: A
Project: Green Waste Composting & Wood Chip Business	Drawn By: LJDS	
Title: Working Plan	BIDWELLS <small>49 High Street, Harefield, Bucks, HP84 9HQ Telephone: 07527 54252</small>	





Notes

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Site Address

**Land at Crows Nest Farm,
Breakspear Road South,
Harefield**

Planning Application Ref:

1113/APP/2011/1020

Planning Committee

North Page 172

Scale

1:2,000

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 47 COPSE WOOD WAY NORTHWOOD

Development: Erection of two storey, five-bedroom, detached dwelling with conversion of roof space to habitable use to include 2 rear dormers and 5 rooflights involving demolition of existing dwelling.

LBH Ref Nos: 18371/APP/2011/1271

Date Plans Received: 24/05/2011

Date(s) of Amendment(s):

Date Application Valid: 02/06/2011

DO NOT SCALE FROM THIS DRAWING.
DIMENSIONS ON SITE CHECK ALL
DIMENSIONS ON SITE. REPORT ALL DISCREPANCIES TO
ARCHITECT IMMEDIATELY.

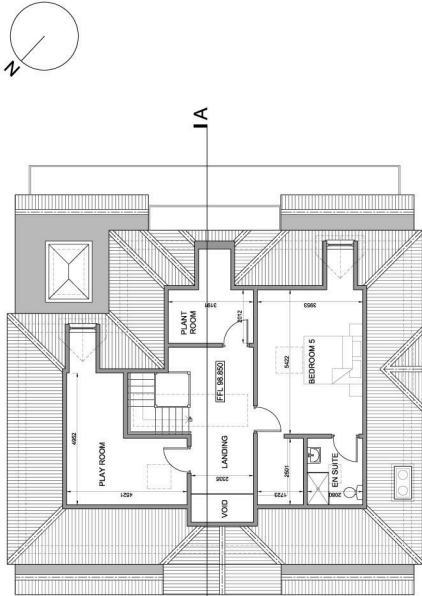
NOTE: CL 0111 - BRICK FIRE RESISTANT WALLS
MOVED TO SAFE EXISTING BUILDING LINE. BEDROOM 2
OMITTED. BEDROOM 3 & EN SUITE LAYOUT REVISED.
ACCESS TO FRONT DOOR ADDED TO GROUND FLOOR.
BALCONY VOID REVISED. LABELS ADDED TO SOUTH WEST
WEST ELEVATION. GENERAL AMENDMENTS TO SOUTH
ELEVATIONS TO SUIT REVISED FLOOR PLANS.
AMENDED CL 0111 - FRAMES ADDED TO FRONT DOOR
TO ALLOW 1000mm SPACE BETWEEN PROPCAL & SITE
BOUNDARIES.
DRAWING ISSUE

PLANNING APPLICATION
Briffa Phillips
Architectural Design Planning Consultants Project Management
1124 Highway 16E, St Albans
New South Wales 2151
Tel: 02 9727 4600
www.briffaphillips.com
briffaphillips@briffaphillips.com

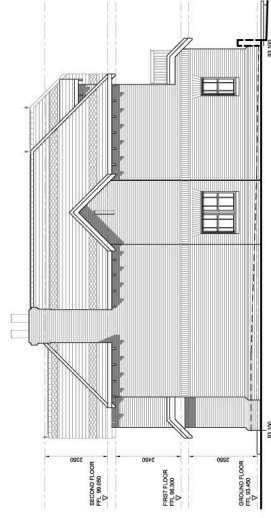
Project Ref: 47 CORSE WOOD WAY
NORTHWOOD HAB 272

Drawing Title: PROPOSED PLANS & ELEVATIONS

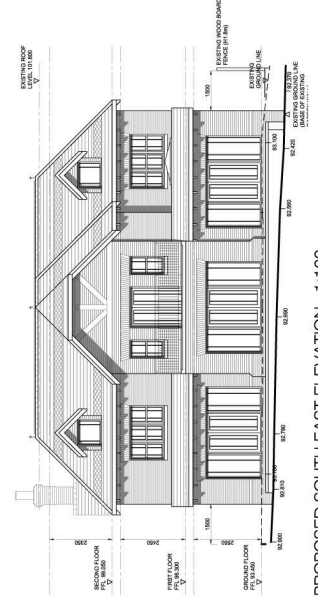
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Sheet:	1	Project No:	1419
	20.05.11	Revision:	104
			C



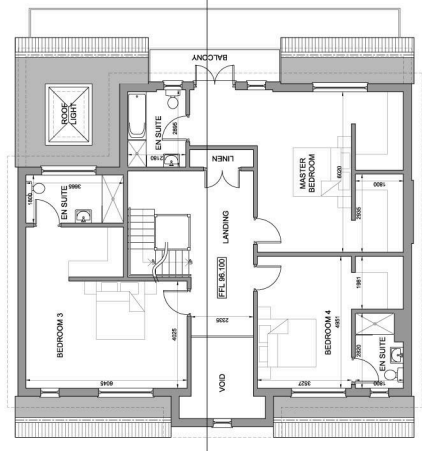
PROPOSED SECOND FLOOR PLAN 1:100



PROPOSED SOUTH WEST ELEVATION 1:100



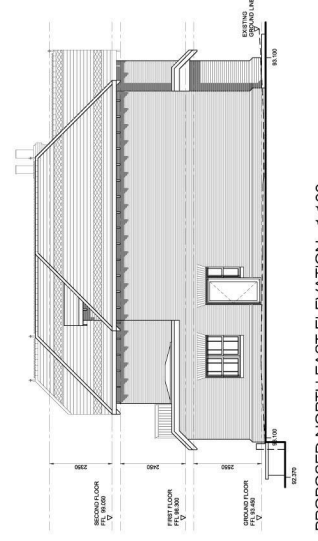
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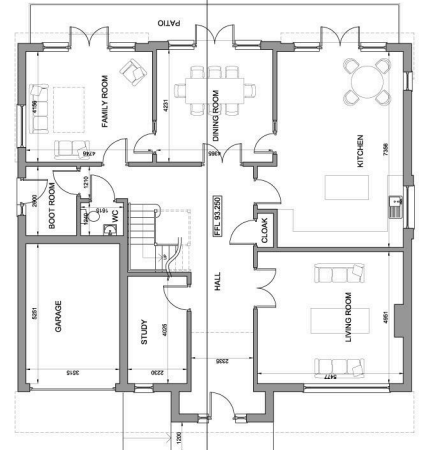
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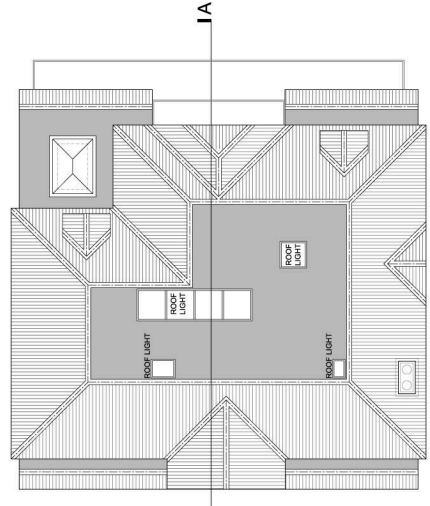
PROPOSED NORTH WEST ELEVATION 1:100



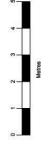
PROPOSED NORTH EAST ELEVATION 1:100



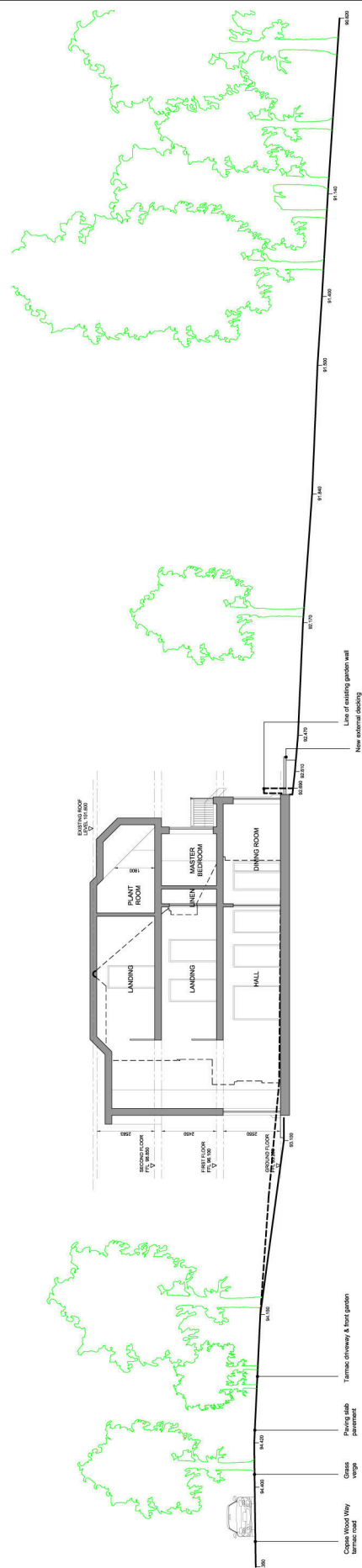
PROPOSED GROUND FLOOR PLAN 1:100



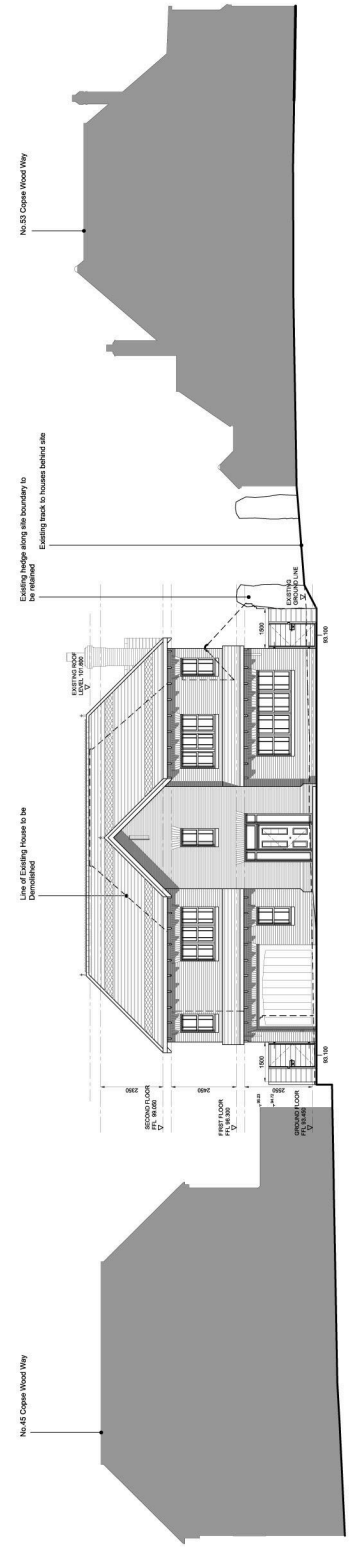
PROPOSED ROOF PLAN 1:100



DO NOT SCALE FROM THIS DRAWING.
 DIMENSIONS ON THIS DRAWING ARE TO BE CHECKED ALL
 DIMENSIONS ON SITE.
 REPORT ALL DISCREPANCIES TO
 ARCHITECT IMMEDIATELY.



PROPOSED SITE SECTION A-A 1:100



PROPOSED STREET ELEVATION 1:100

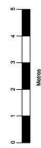
REV. 05. AC 20.08.11. PROPOSED FRONT
 ELEVATION & SECTION A-A AMENDED TO SUIT
 REVISED SCHEME DESIGN
 THE PROPOSED HOUSE SHALL BE
 ADVANCED TO ALLOW 1500MM SPACE BETWEEN
 PROPOSAL & SITE BOUNDARIES
 DRAWING STAGE
 PLANNING APPLICATION

Briffa Phillips
 Architecture Design Planning Consultancy Project Management
 11-21 Holmead Hill, St Albans
 Herts. AL1 1JH
 Tel: 01763 266677
 Fax: 01763 266677
 www.briffaphillips.com
 info@briffaphillips.com

Project Ref: 47 COPSE WOOD WAY
 NORTHWOOD HA6 2TZ

Drawing Title: PROPOSED SITE SECTION A-A
 & PROPOSED STREET ELEVATION

Scale	Project No	Drawn	Checked
1:100@A1	MB	AC	AMS
Date: 20.05.11	Project No: 1419	Drawn No: 105	Rev: B



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 DIMENSIONS ON SITE CHECK ALL
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 ARCHITECT IMMEDIATELY.

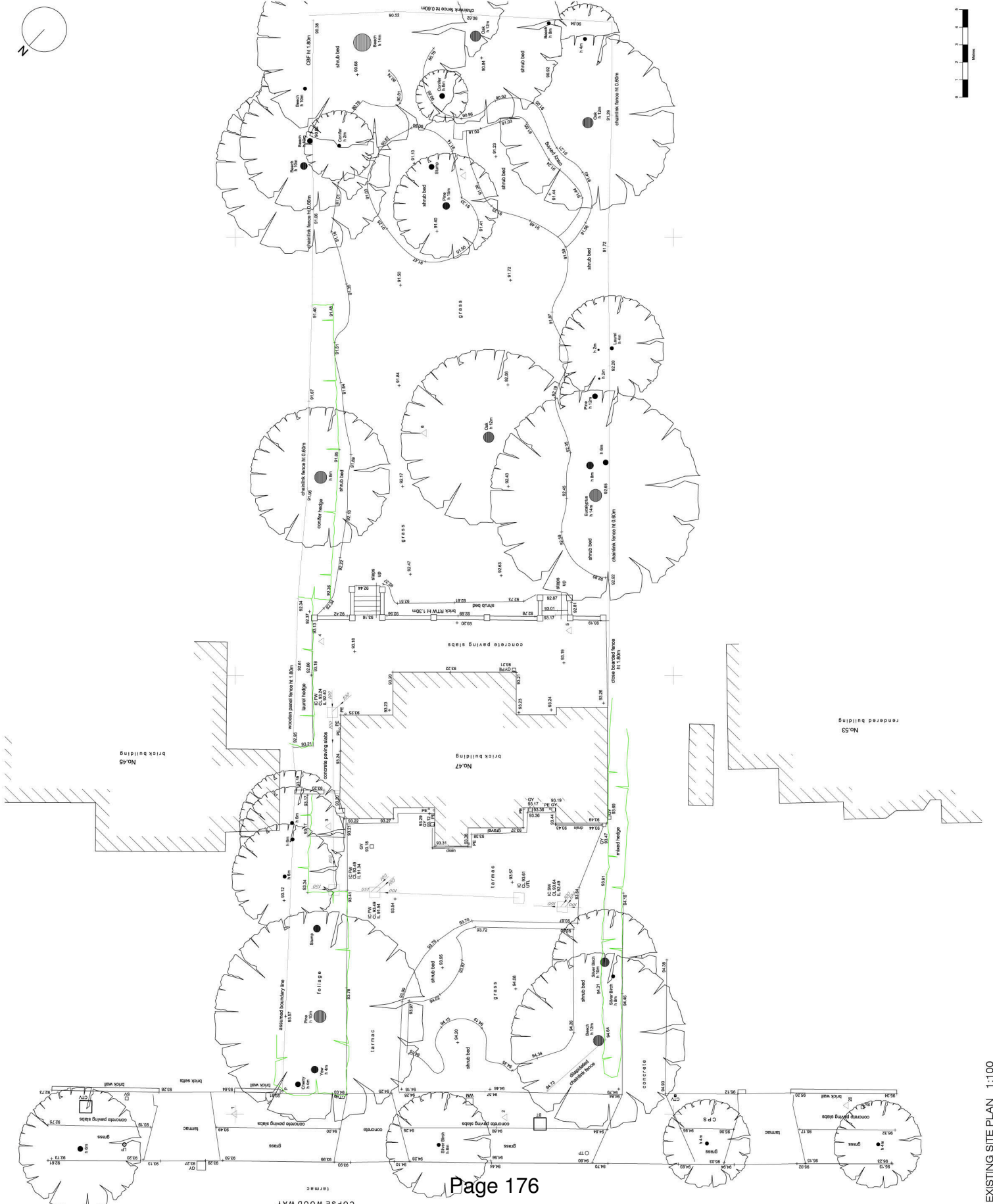
DRAWING TITLE: PLANNING APPLICATION

Briffa Phillips
 Architecture Design Planning Consulting Project Management
 1124 Highway 141, St Albans
 Tel: 01773 46007
 www.briffaphillips.com
 briffaphillips@briffaphillips.com

Project Ref: 47 CORSE WOOD WAY
 NORTHWOOD HA6 2TZ

Drawing Title: EXISTING SITE PLAN

Scale:	1:100@A1	Drawn:	AC	Checked:	MB
Date:	20.05.11	Project No:	1419	Reason:	101



DO NOT SCALE FROM THIS DRAWING.
 DIMENSIONS ON SITE CHECK ALL
 DIMENSIONS ON SITE
 REPORT ALL DISCREPANCIES TO
 ARCHITECT IMMEDIATELY.

NO. 16, AC 20, 2011, 045 PAVING SPACES ADJACENT
 TO 47 CORSE WOOD WAY, PROPOSED AS SHOWN. UPDATED TO
 SUI REVISED GROUND FLOOR PLAN.
 drawing stage

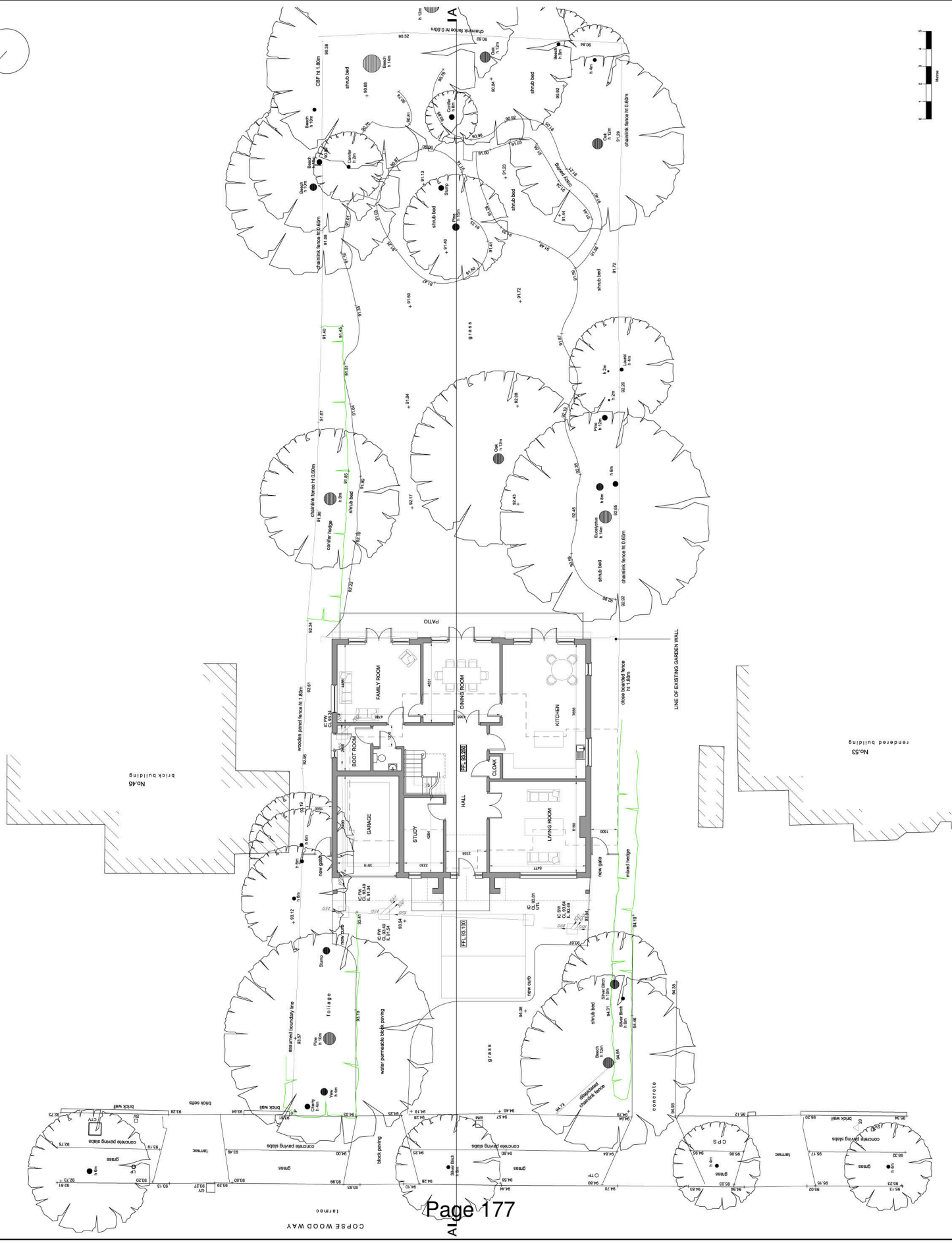
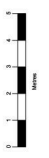
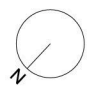
PLANNING APPLICATION

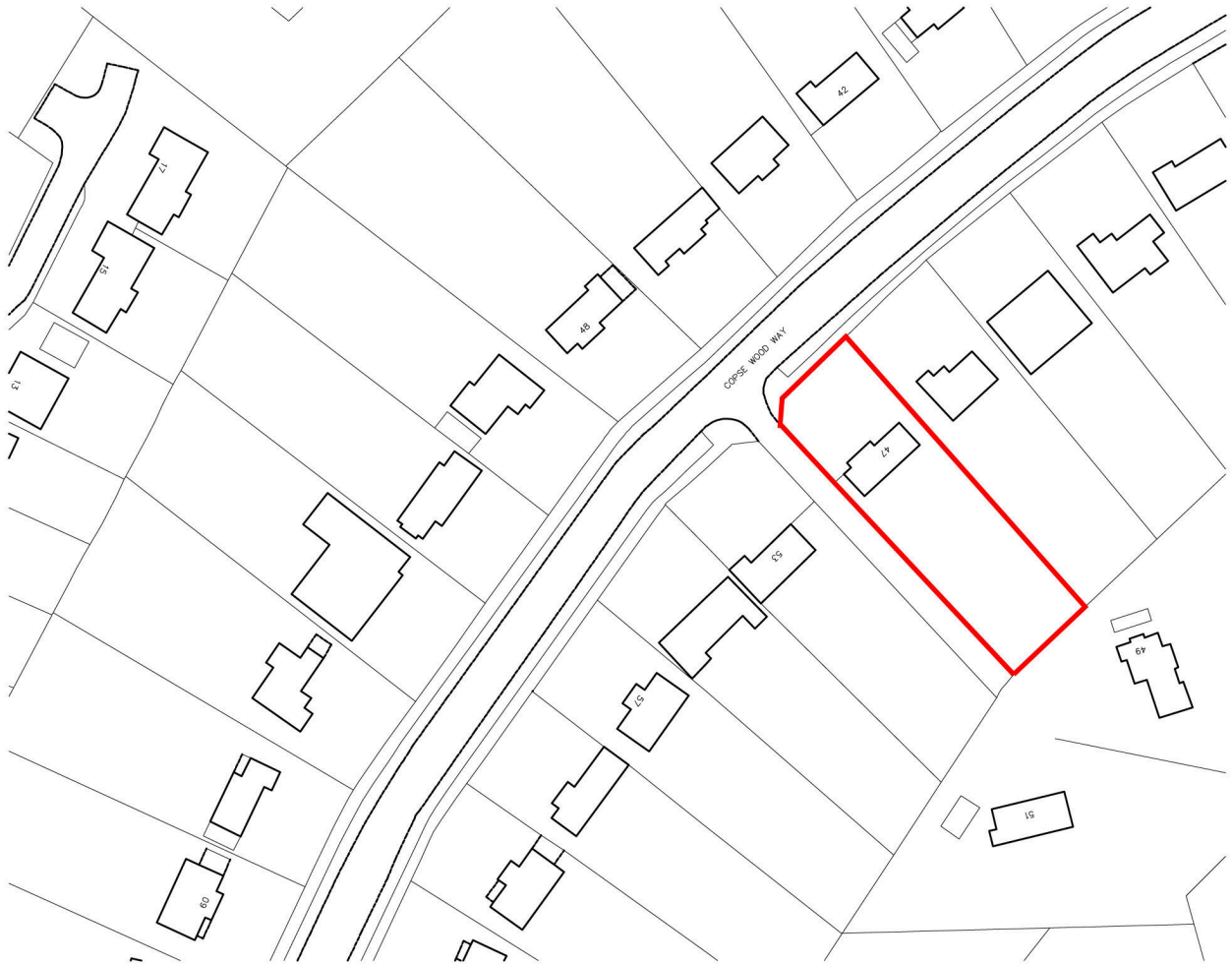
Briffa Phillips
 Architecture Design Planning Consultants Project Management
 11241 Highway 101, St Albans
 Tel: 01777 46007
 www.briffaphillips.com
 info@briffaphillips.com

Project Ref: 47 CORSE WOOD WAY NORTHWOOD HA6 2TZ

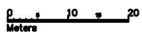
Drawing Title: PROPOSED SITE PLAN

Scale:	J28	AS02007	Drawn:	CH0002
Scale:	1:100@A1	MB	AC	ME
Date:	20.05.11	1419	Checked by:	103
			Rev:	B





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Briffa Phillips

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Page 178

project

47 Cope Wood Way

title

Site Location Plan

scale

1:1250@A4

architect

MB

drawn

AC

checked

MB

date

20.05.11

project no.

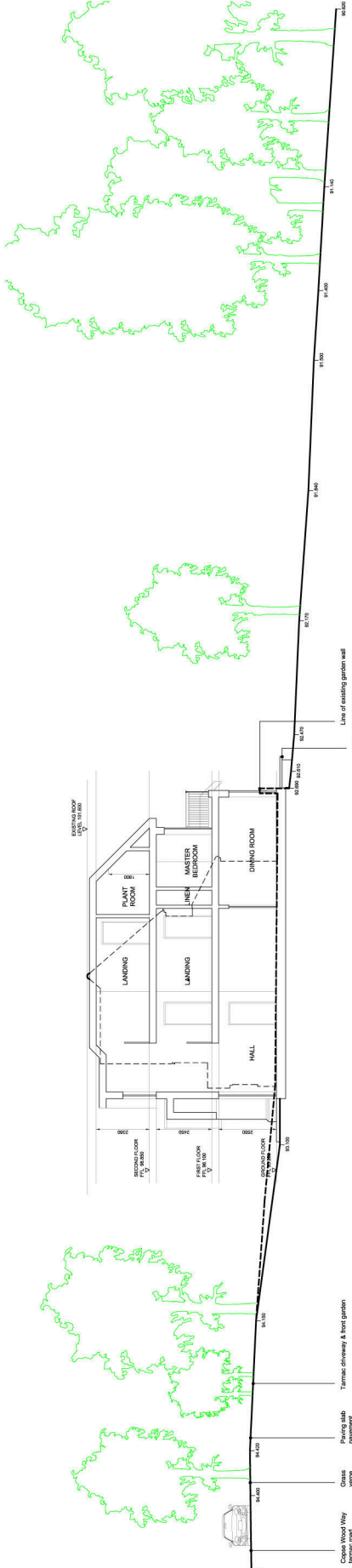
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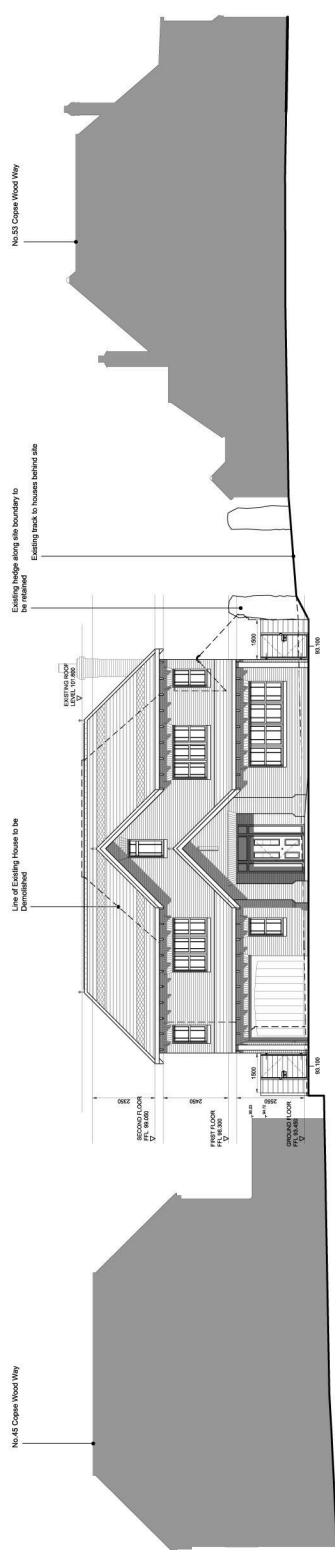
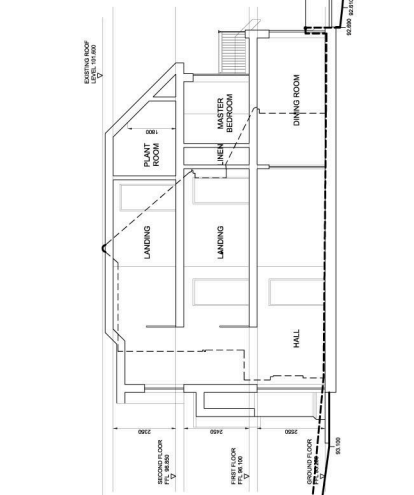
100

rev

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 CHECK ALL DIMENSIONS ON SITE.
 REPORT ALL DISCREPANCIES TO ARCHITECT IMMEDIATELY.



PROPOSED SITE SECTION A-A 1:100



PROPOSED STREET ELEVATION 1:100

THIS DRAWING IS A PROPOSED ELEVATION.
 IT IS NOT TO BE USED FOR CONSTRUCTION.
 ADVANCED TO ALLOW 1500MM SPACE BETWEEN PROPOSAL & SITE BOUNDARIES

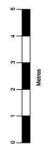
PLANNING APPLICATION

Briffa Phillips
 Architects Design Planning Consultants Project Management
 11-21 Holmead Hill, St Albans
 Herts. AL1 1JH
 Tel: 07727 46067
 Fax: 07727 46067
 www.briffaphillips.com
 info@briffaphillips.com

Project Ref: 47 COPSE WOOD WAY NORTHWOOD HA6 2TZ

Drawing Title: PROPOSED SITE SECTION A-A & PROPOSED STREET ELEVATION

Scale	Project No.	Drawn	Checked
1:100@A1	MB	AC	ME
Date	Project No.	Drawn No.	Revision
20.05.11	1419	105	A



DO NOT SCALE FROM THIS DRAWING.
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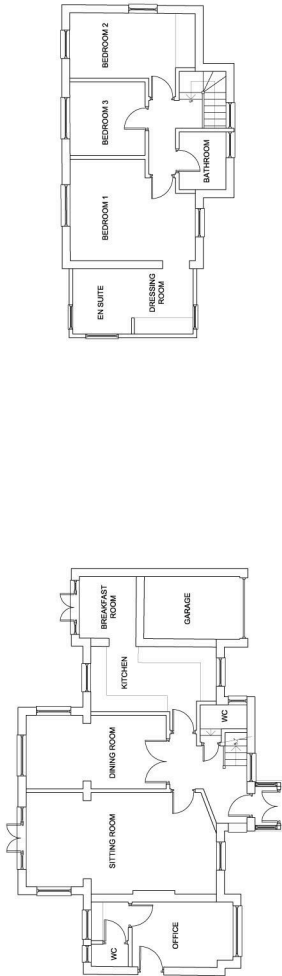
DRAWING TITLE
PLANNING APPLICATION

Briffa Phillips
 Architecture Design Planning Consultancy Project Management
 1124 Highway 161, St Albans
 Tel: 07727 46007
 www.briffaphillips.com
 info@briffaphillips.com

Project Ref: 47 CORSE WOOD WAY NORTHWOOD HA6 2TZ

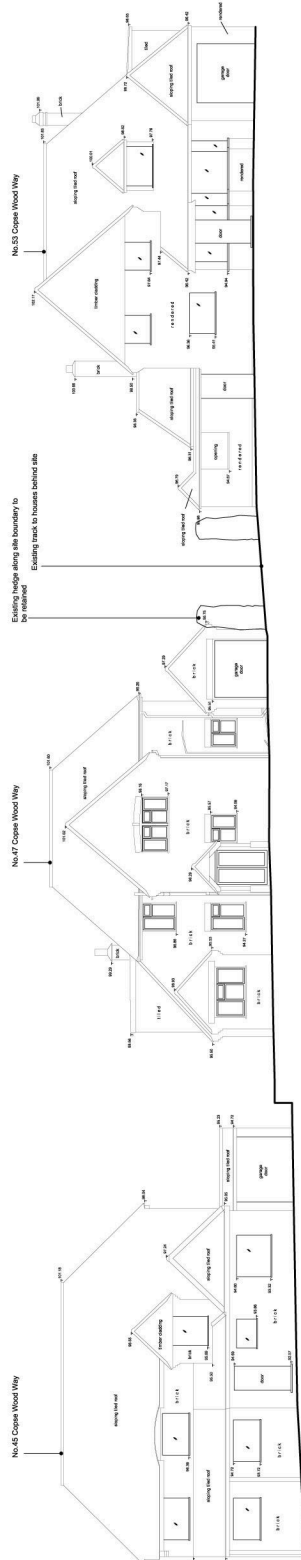
Drawing Title: EXISTING PLANS AND ELEVATIONS

Scale:	J21 ARCH/007	Drawn:	CH/000
Scale:	1:100@A1	MB	AC
Drawn:	20.05.11	Project No:	1419
Drawn:	20.05.11	Drawn by:	102

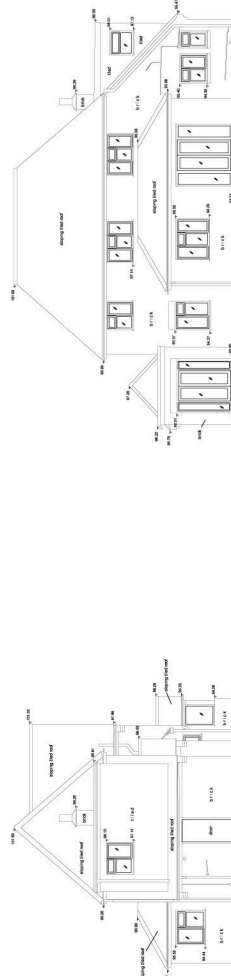


EXISTING GROUND FLOOR PLAN 1:100

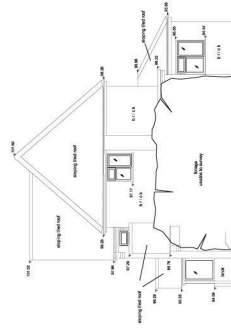
EXISTING FIRST FLOOR PLAN 1:100



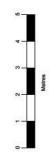
EXISTING STREET ELEVATION 1:100



EXISTING NORTH EAST ELEVATION 1:100



EXISTING SOUTH WEST ELEVATION 1:100



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 DIMENSIONS ON THIS DRAWING TAKE PRECEDENCE OVER DIMENSIONS ON SITE.
 REPORT ALL DISCREPANCIES TO ARCHITECT IMMEDIATELY.

REV. B. AC 02.06.11 - RAMP ACCESS TO FRONT
 ROOM AND STAIRS - PROPOSED BUILDING.
 REV. A. AC 02.06.11 - PROPOSED BUILDING.
 AMENDED TO ALLOW 1500MM SPACE BETWEEN
 PROPOSAL & SITE BOUNDARIES

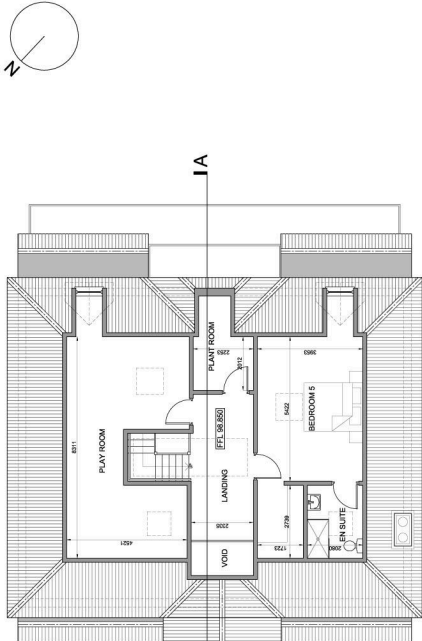
PLANNING APPLICATION
 DRAWING 18/01

Briffa Phillips
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 11-21 Highwell Hill, St Albans
 Herts. AL1 1AA
 Tel: 01763 26007
 Fax: 01763 26007
 www.briffaphillips.com
 info@briffaphillips.com

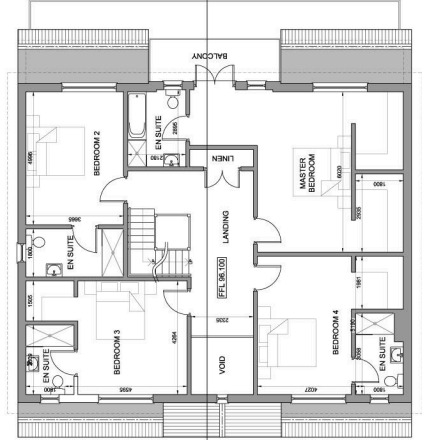
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 NORTHWOOD HA5 2TZ

Drawing Title: PROPOSED PLANS & ELEVATIONS

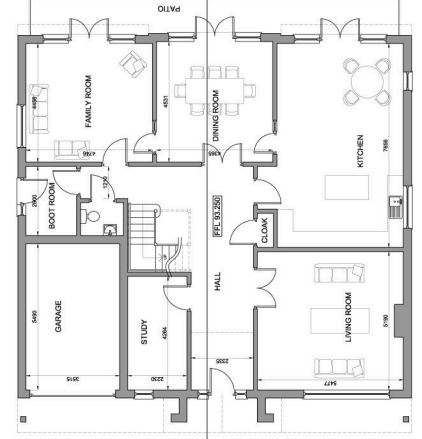
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Drawn:	20.05.11	1419	104	104	B



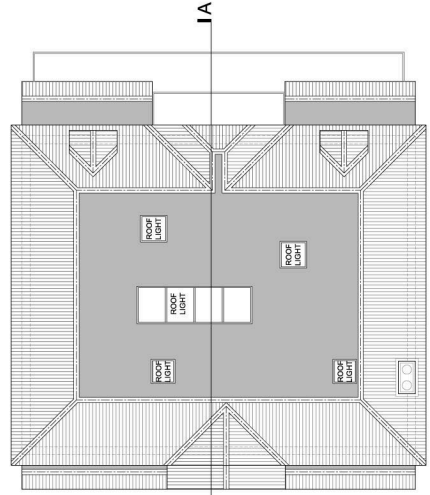
PROPOSED SECOND FLOOR PLAN 1:100



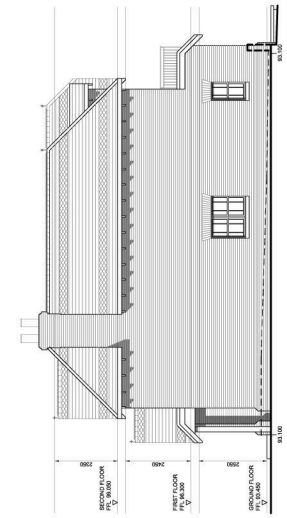
PROPOSED FIRST FLOOR PLAN 1:100



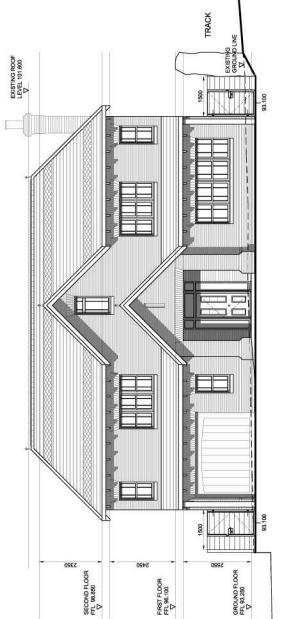
PROPOSED GROUND FLOOR PLAN 1:100



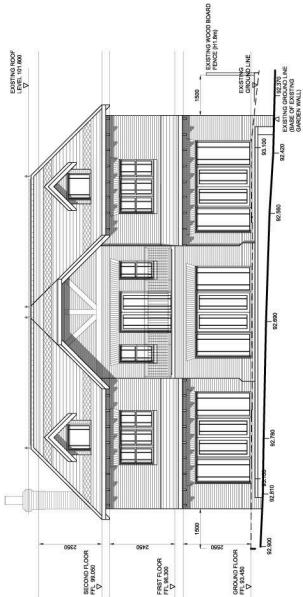
PROPOSED ROOF PLAN 1:100



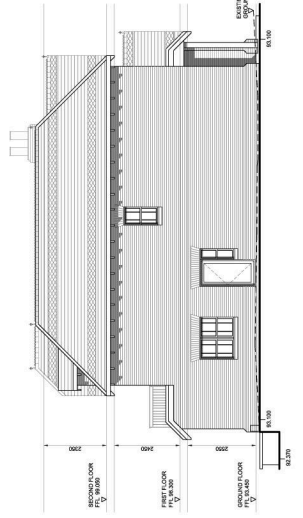
PROPOSED NORTH SOUTH WEST ELEVATION 1:100



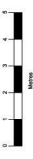
PROPOSED NORTH EAST ELEVATION 1:100



PROPOSED SOUTH EAST ELEVATION 1:100



PROPOSED NORTH NORTH WEST ELEVATION 1:100



DO NOT SCALE FROM THIS DRAWING.
 DIMENSIONS ON SITE CHECK ALL
 DIMENSIONS ON SITE
 REPORT ALL DISCREPANCIES TO
 ARCHITECT IMMEDIATELY.

REV C AC 22.06.11 - SITE PLAN AMENDED TO SUIT REVISED
 GROUND FLOOR PLAN
 REV B AC 20.06.11 - CARPARKING SPACES ADDED
 REV A AC 19.06.11 - CARPARKING SPACES ADDED
 SUIT REVISED GROUND FLOOR PLAN
 DRAWING ISSUE

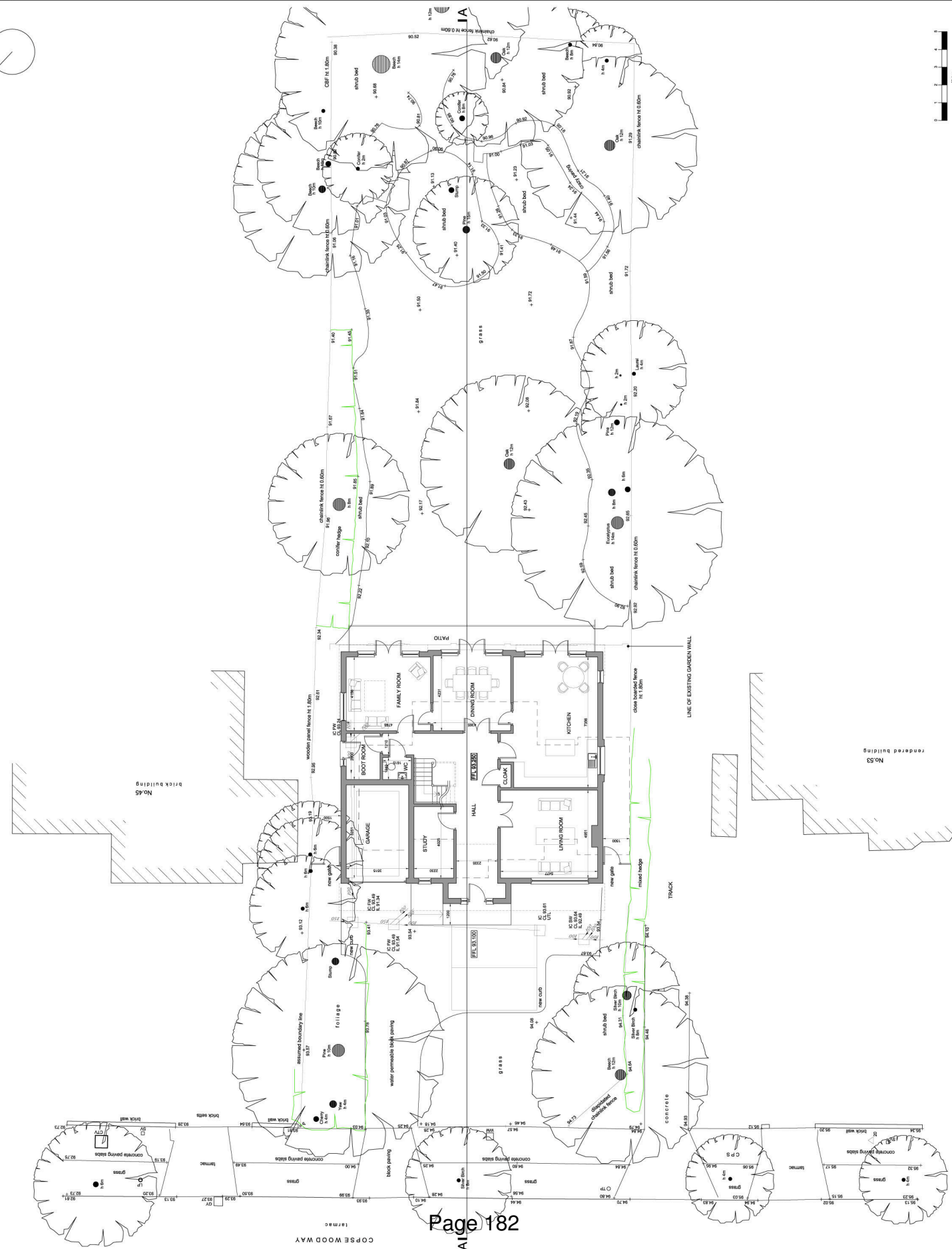
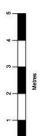
PLANNING APPLICATION

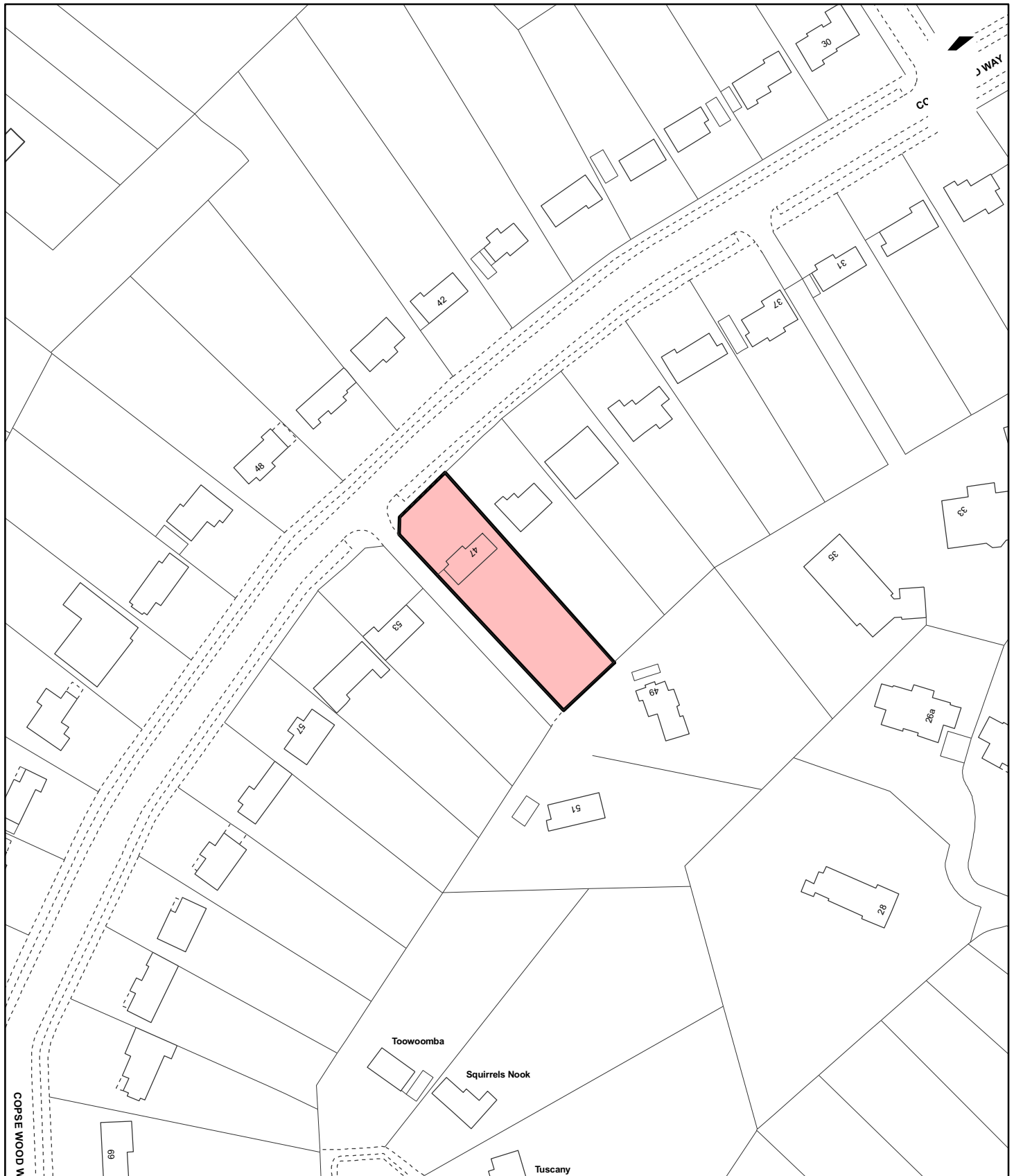
Briffa Phillips
 Architecture Design Planning Constraints Project Management
 1124 Highway Hill St Albany
 NSW 2501
 Tel: 07 4777 4667
 Fax: 07 4777 4667
 www.briffaphillips.com
 info@briffaphillips.com

Project Ref: 47 CORSE WOOD WAY NORTHWOOD HAS 272

Drawing Title: PROPOSED SITE PLAN

Scale:	JST architect	Drawn:	CHC/202
Scale:	1:100(BA1)	MB	AC
AMS			
Drawn:	20.05.11	Project No:	1419
AMS		Revision:	103
			C





Notes

 Site boundary

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Site Address

**47 Copse Wood Way,
Northwood**

Planning Application Ref:

18371/APP/2011/1271

Planning Committee

North Page 183

Scale

1:1,250

Date

**September
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

Report of the Head of Planning & Enforcement Services

Address 12 KEWFERRY ROAD NORTHWOOD

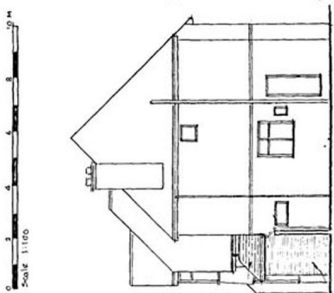
Development: Single storey front extension.

LBH Ref Nos: 33988/APP/2011/684

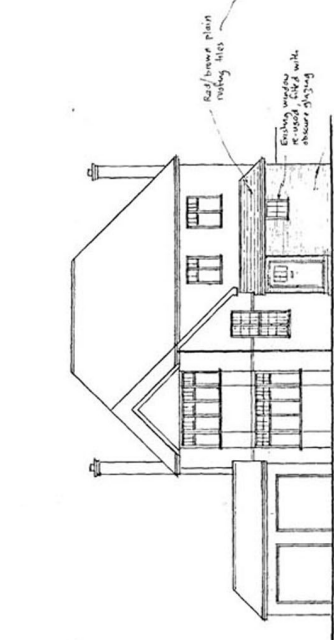
Date Plans Received: 18/03/2011

Date(s) of Amendment(s):

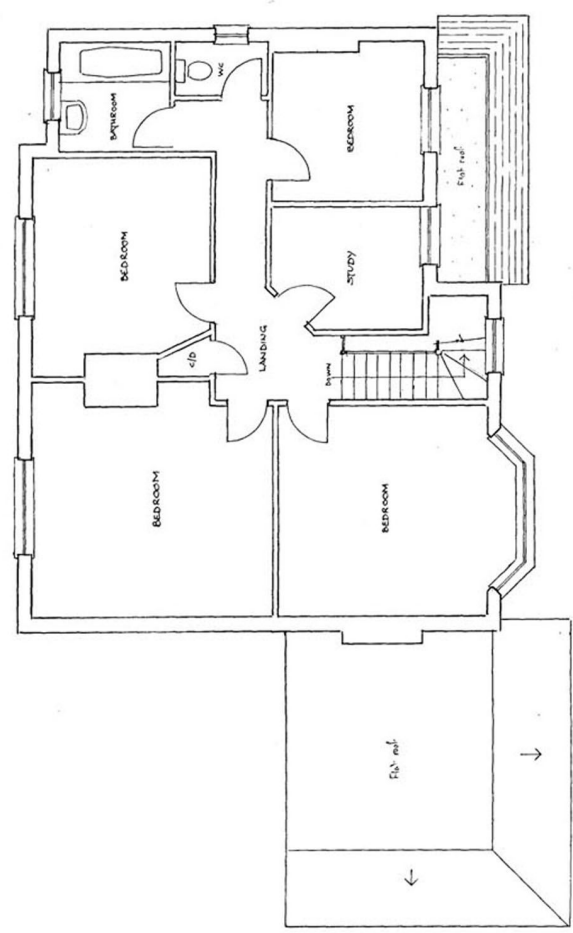
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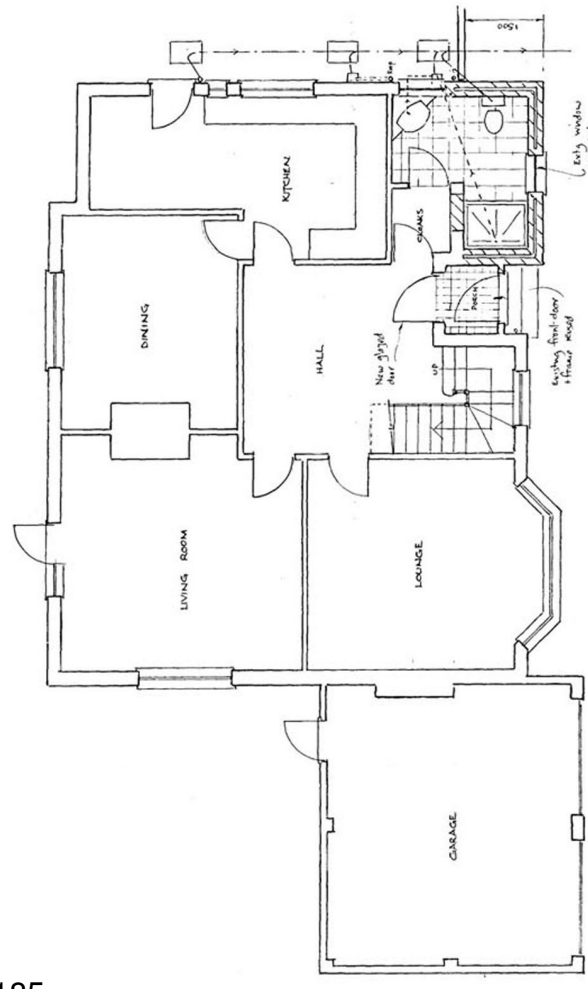
FRONT ELEVATION



SIDE (S.W.) ELEVATION

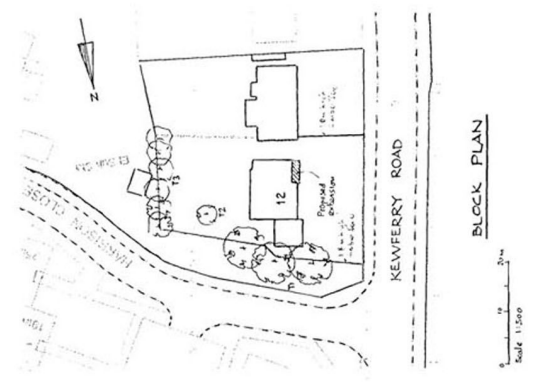


FIRST FLOOR PLAN



GROUND FLOOR PLAN

T1 - 12m high broad leafed trees
 T2 - 4m high tree
 T3 - 6m high tree



BLOCK PLAN

LITTLEBENE Design
 Beach Hill House, Berry Lane, Chorleywood, Herts, WD3 8EY
 Tel/Fax: 01923 889598, Mobile: 07790 294210
 Email: michael.littlebene@littlebene.co.uk

PROPERTY: 12 KEWFERRY ROAD, NORTHWOOD, MIDDX.
 HAG 2NY

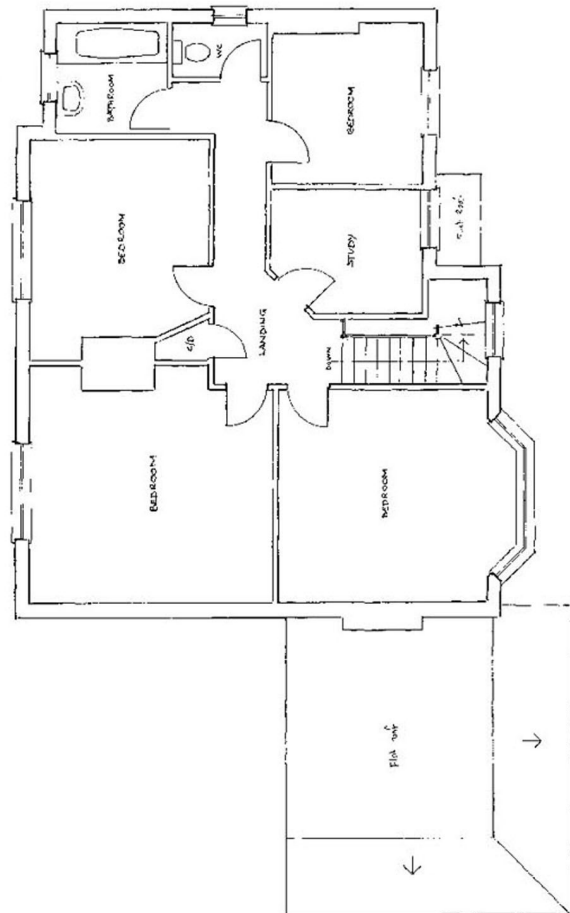
CLIENT: MR & MRS

DRAWING TITLE: SINGLE STOREY FRONT EXTENSION

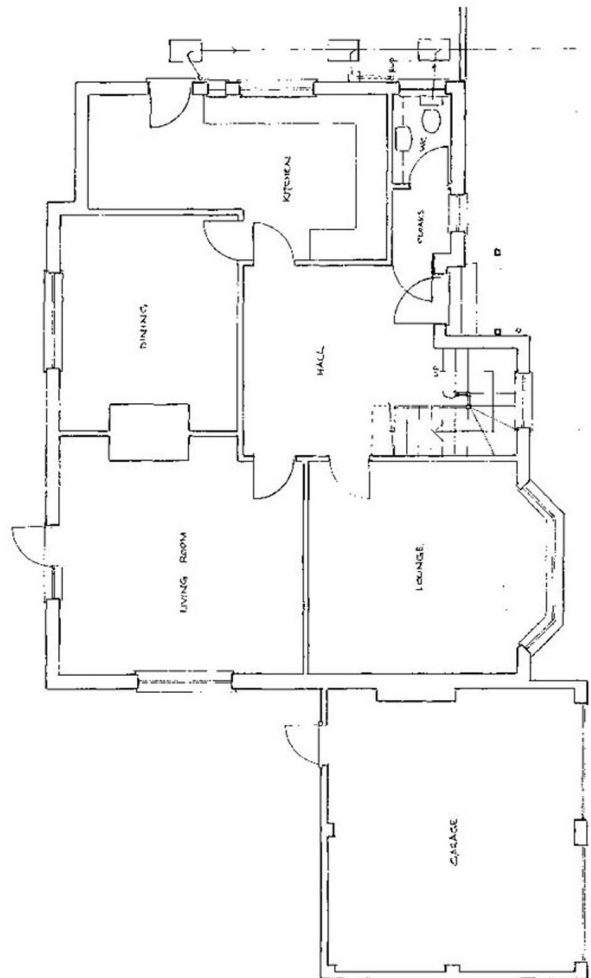
PROPOSED FLOOR PLANS & ELEVATIONS

DATE: MARCH 2011
 SCALE: 1:50, 1:100 & 1:500
 DRAWING No: KEW/02

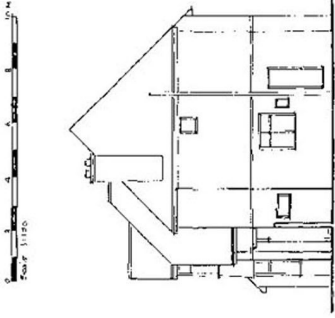
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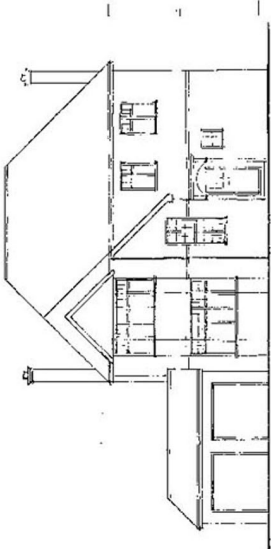
FIRST FLOOR PLAN



GROUND FLOOR PLAN



SIDE (SW) ELEVATION



FRONT ELEVATION

LITTLEDENE Design
 Beach Hill House, Berry Lane, Chertsey, Middx, WD3 8BY
 Tel/Fax: 01923 24558, Mobile: 07970 294310
 Email: michal.little@littledene.co.uk

PROPERTY: 12 KEW FERRY ROAD, NORTHWOOD, MIDDX.
 HA6 2NY

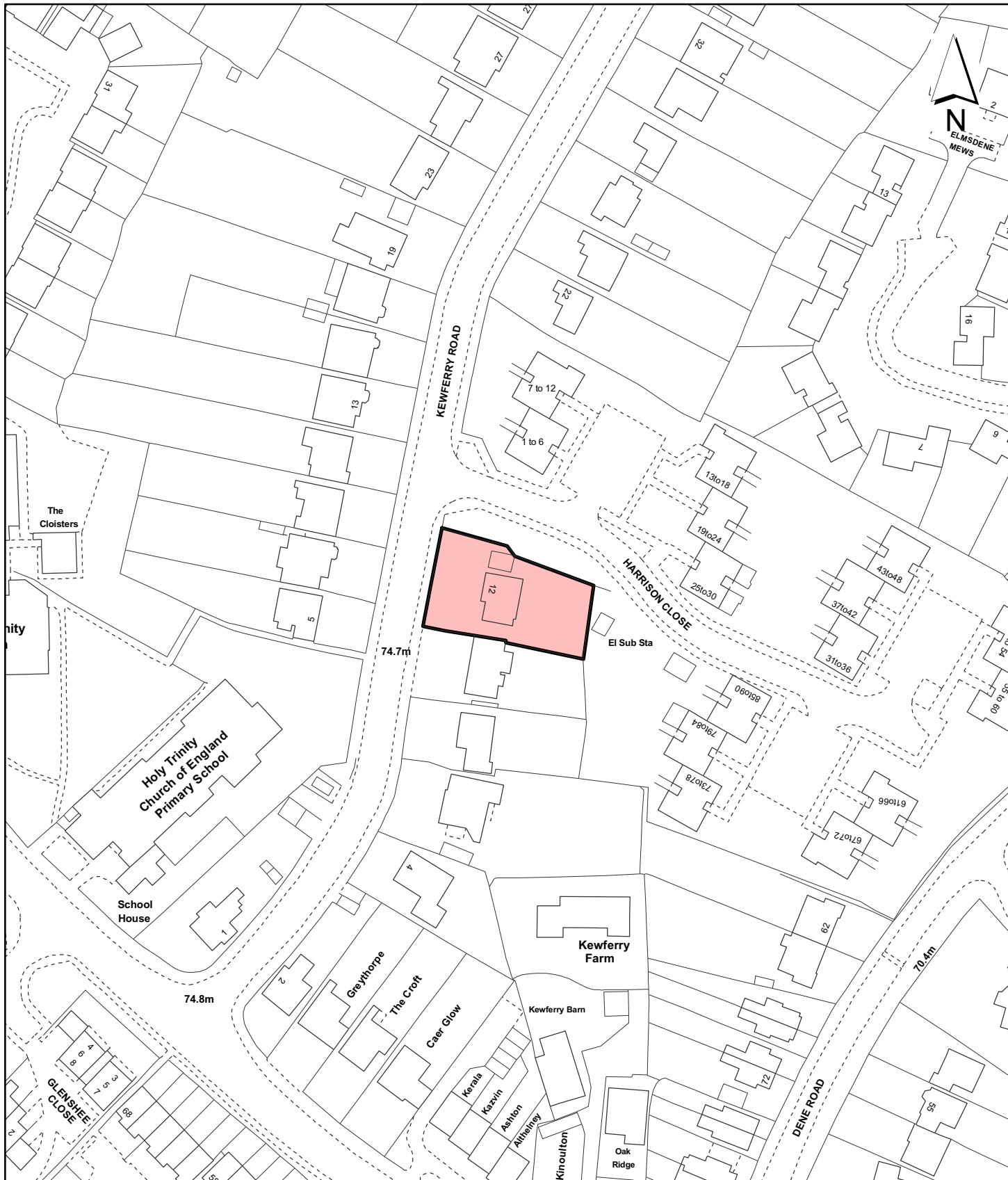
CLIENT: MR. A PRUE

DRAWING TITLE: SINGLE STOREY FRONT EXTENSION.

EXISTING FLOOR PLANS & ELEVATIONS

DATE: MARCH 2011
 SCALE: 1:100 & 1:50
 DRAWING NO: KEW/01

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Site Address

**12 Kewferry Road
Northwood**

Planning Application Ref:

33988/APP/2011/684

Planning Committee

North Page 187

Scale

1:1,250

Date

**August
2011**

**LONDON BOROUGH
OF HILLINGDON**
Planning,
Environment, Education
& Community Services

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 250111



HILLINGDON
LONDON

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